



AGENDA

Regular Planning Board Meeting

May 24, 2022 - 6:30 PM

Town Hall 101 Huntersville-Concord Road

Live Stream: <https://www.facebook.com/HuntersvilleNCTownGovernment>

- 1. Call to Order/Roll Call**
- 2. Approval of Minutes**
 - 2.A. Consider approval of the April 26, 2022 Regular Meeting Minutes of the Planning Board ()
- 3. Public Comments** - *Speakers are limited to 3 minutes. The Chairperson reserves the right to shorten the time limit for speakers when an unusually large number of persons have signed up to speak. Speakers may not give all or a portion of their time to other speakers*
- 4. Action Agenda**
 - 4.A. Consider Recommendation for Stephens Road Subdivision, a request by Classica Homes, LLC to subdivide 43.245-acres located along Stephens Road at 6010 Stephens Road, Parcel # 013-091-04, 013-081-26 & a portion of 013-091-07, into 26 single-family lots.
- 5. Other Business**
- 6. Adjourn**

Minutes of the Town of Huntersville Planning Board

The Town of Huntersville Planning Board met at 6:30 p.m. on Tuesday, April 26, 2022.

Call to Order/Roll Call

Chairman Swanick called the meeting to order at 6:30 pm.

Present: S. Swanick, J. Snyder, S. Hensley, G. Baber, T. Loomis, J. Wright, F. Gammon, and J. Henson

Absent: C. Boyd

Approval of Minutes

Item 2A. Consider approval of the revised March 22, 2022, Regular Meeting Minutes

Motion: S. Hensley made a Motion to Approve the revised March 22, 2022, minutes. G. Baber seconded the motion.

Vote: The motion passed unanimously (8-0).

Public Comments

No comments

Action Agenda

Item 4A: . Consider the recommendation of S22-01, Birkdale Landing Special Sign District, a request by Firebirds International, LLC to create a Special Sign District Overlay for Birkdale Landing located at 16641 Birkdale Commons Pkwy, Tax Parcel 00917184.

L. Speight, Planner II entered her staff report into the record, a copy of which is attached hereto as Exhibit A and incorporated herein by reference. Staff advised that Birkdale Landing currently has a Master Signage Program which was approved in February 2020. Firebird International is requesting on behalf of the property owner, Fairway Investments to create a special sign district overlay to create greater flexibility than the current Master Signage Program.

The request is to designate the displayed exterior wall that does not front a public street as a wall eligible for an additional tenant wall sign, up to 50 square feet. The proposed sign is 42 square feet. Under the current Master Sign Program signs are permitted to face a public road and secondary signs are permitted to face the parking lot where there is pedestrian entry. Staff recommends approval based on the request being consistent with greater flexibility in form, style and design by the Huntersville 2040 Community Plan.

S. Swanick asked if this request will only affect this singular sign and no additional flexibility is being granted under this special sign district request. Staff confirmed that is correct the Master Sign Program would apply to all other signage.

G. Baber asked if this was considered a secondary sign then the maximum allowed would be 32 square feet, so how did the applicant arrive at the proposed 42 square feet. Staff responded under the request the applicant is allowed to request the size they would like.

S. Hensley asked for clarification as to why this request requires Town Board approval and if a future tenant wants something different if their request would have to return to the Board for approval. Staff explained that the sign location requested is not currently permitted under the Master Sign Program and based on the Zoning Ordinance must be submitted through a Special Sign District request which is a Town Board approval process. The Special Sign District was established for large developments where the full extent of signage needs cannot be anticipated. It allows large developments to essentially ask for what they would like and then the Town Board to review that request and determine if it is consistent and reasonable. The developers are advised to submit any and all requests and typically write flexibility into their requests to address future requests.

T. Loomis asked if the applicant stated that the reason for the sign was a turnaround issue. Staff responded that the tenant prefers the placement for visibility while driving east on Highway 73.

J. Snyder asked the applicant if there was any consideration given to adhering the secondary signage size of 32 square feet. Nicole Tharington, General Counsel for Firebirds, 13850 Ballantyne Corporate Place Charlotte stated they were comparing the request to the primary signage size of up to 128 square feet when they requested 42 square feet and at staff's recommendation submitted the request for up to 50 square feet to add that flexibility. She then continued that the request is for the exterior wall facing the driveway entrance so currently when traveling east on Highway 73 the building appears vacant or possibly as an office versus commercial space.

Motion: S. Hensley made a Motion to Approve S22-01 Birkdale Landing special sign district. The Planning Board recommends approval based on the master sign plan being consistent with the Huntersville 2040 Community Plan, specifically policies LU7, LU7.2, LU8 and LU8.1. It is reasonable and in the public interest to approve this special sign district because it is consistent with the greater flexibility, form style, and design desired by the 2040 Plan. T. Loomis seconded the motion.

F. Gammon commented that he does not oppose. Anything that prevents Huntersville from having the old sign jumbles with no trees and nothing but signs he is in support of.

Vote: The motion passed unanimously (8-0).

Item 4B: Consider the recommendation of TA22-03, a request by the Town of Huntersville Planning Department to amend Article 8.9.1 and 12.2.2 related to clear sight triangles in order to comply with HB 489.

N. Farber, Planner I entered his staff report into the record, a copy of which is attached hereto as Exhibit B and incorporated herein by reference. Staff advised that the proposed amendments to Article 8.9.1 and 12.2.2 are to be in compliance with House Bill 489 which has added underlying language to state statute 160D-306. This change gives more flexibility to the

measurement location of sight distance triangles. The proposed method to measure for the Town has not changed.

J. Sny asked if the Town has always measured from the roadways edge. Staff confirmed that there are no proposed changes to the way the Town measures this just provides flexibility.

Motion: J. Sny made a Motion to Approve TA22-03. The Planning Board recommends approval based on the amendment being consistent with policy T-4 of the Huntersville 2040 Community Plan. It is reasonable and in the public interest to amend the zoning ordinance because it aims to improve the safety of everyone on our roads and sidewalks. Furthermore, it makes the Towns language compliant with Chapter 160A-306 which was amended with the passing of House Bill 489 last year. J. Henson seconded the motion.

Vote: The motion passed unanimously (8-0).

Item 4C: Consider the recommendation of TA22-04, a request by the Town of Huntersville Planning Department to remove the special use requirement for street facing solar panels in Article 9.54.1 and to reorganize and clean up Article 9.54 to bring the ordinance into full compliance with State Statute 160D-914.

N. Farber, Planner I entered his staff report into the record, a copy of which is attached hereto as Exhibit C and incorporated herein by reference. Staff illustrated that currently side facing solar panels can be approved administratively and typically requires approximately 3 business days. Currently to put solar panels on the front of your home, facing a public street, a special use permit is required which can take up to 3 months for approval. As illustrated side facing can be just as visible as front facing solar panels.

In the past year there has been a large increase in interest in solar panels with two special use permits applied for and granted within the past six months. Staff is proposing the special use permit requirement be removed from minor solar energy facilities to reduce the burden on residential and non-residential properties.

Staff has also worked with Town Attorneys to reorganize, clean up and bring the language into compliance with state statute 160D-914. The ordinance is substantively the same with the exception of the special use permit removal.

Staff advised that a correction has been made to the proposed language to remove Items 4 & 5 from Section B: Major solar energy so that a special use permit will still be required for all Major solar energy facilities.

S. Swanick requested staff advise on the difference between major and minor solar facilities. Staff reviewed the definition. A minor must be located on the power beneficiary's premises, is intended to primarily offset part or all of the beneficiary's requirements for electric/gas; and is secondary to the beneficiary's use of the premises for other lawful purposes. Major would be anything not meeting all of the above requirements.

S. Swanick asked what criteria administration would use that could lead to not approving solar panels and to confirm this would not become a public nuisance. Staff stated that as long as the placement on the roof complies and they meet the definition of being minor then it would not be disapproved, same as the current process staff follows in approving placement on rear and side sloping roofs. Staff reviewed the basis for the zoning ordinance initially requiring a special use permit out of an abundance of caution, and the proposed adjustment to administrative also being at the request of the Town Board to reduce the amount of special use permit requirements. Additionally, if the home is located within a homeowner's association, then they would have the option of applying any further restrictions.

F. Gammon asked staff to confirm that 160D is related to residential and not non-residential use so the Town can elect to be more restrictive but not less restrictive in its application of this to non-residential use as well. Staff confirmed that is correct.

F. Gammon stated concern as it relates to the definition of residential and the lack of clearly defining if this is single-family, apartment, or a subdivision. The questions relate to the portion of the proposed language dealing with major solar facilities in a residential area. Can this and should this be a regulated, quasi-judicial procedure if it is a major facility in a residential area if it is purely for residential use? Jacob Glass, Staff Attorney stated that the Legal department reviewed if "a" residential could ever be considered a major solar facility. In response to that question, Town attorneys have added the last paragraph under the proposed language, Item B, "a special use permit will be granted if the regulations have the effect of preventing the reasonable use." That language comes exactly from 160D. Additionally the language in 160D-914 refers to "a" residential property which asks the question if that refers to a single residential property. The Town attorneys will continue to review this and have final clarifications prepared prior to the Town Board hearing the proposed language. F. Gammon agreed that this language could continue to evolve, and we could see additional changes to this in the future.

T. Loomis stated that she is personally looking in to having solar panels installed on her home and the extra panels are cost prohibitive to the additional installation.

J. Henson asked for follow up on what would prohibit approval. Staff responded that there are no specific restrictions.

T. Loomis followed up stating that the roof load limits would also prevent a lot of vertical placement and additional panels.

G. Baber commented that this appears to change the placement not the guidelines for administrative approval. Staff confirmed that their understanding of solar panels is that the panels installed would be flush with the slope of the roof.

S. Swanick stated that maybe problems that do not exist do not need to be addressed.

Motion: G. Baber made a Motion to Approve TA 22-04. The Planning Board recommends approval as it is consistent with policy EOS 9.1 of the Huntersville 2040 Community Plan. It is reasonable and in the public interest to amend the Zoning ordinance because the proposed text amendment would make it easier on the applications to apply for minor solar facilities within the Town of Huntersville. S. Swanick seconded the motion.

T. Loomis thanked staff and expressed her appreciation for the attempt to make it easier for residents to invest in solar. S. Swanick concurred.

Vote: The motion passed unanimously (8-0).

Other Business

Item 5A: Downtown Plan Public Forum #2 - May 12th, 6 - 8 p.m. at Huntersville Presbyterian Church

S. Swanick reviewed this information and extended the invitation to all of the Planning Board to attend this event and participate in this interactive event. Staff added that their different alternatives have been provided by the consultants. There will be a presentation followed by a display of the alternative futures and an opportunity to vote on what you want to see in Downtown Huntersville.

S. Hensley asked staff if the recent quantity of state statute changes is typical. Staff stated that it has been an extraordinary number of changes that have caused the proposed text amendments.

F. Gammon reminded everyone that Thursday, April 28 early voting begins in Mecklenburg County and the closest polling site is North Meck Library. The early voting will run through Saturday, May 14 daily.

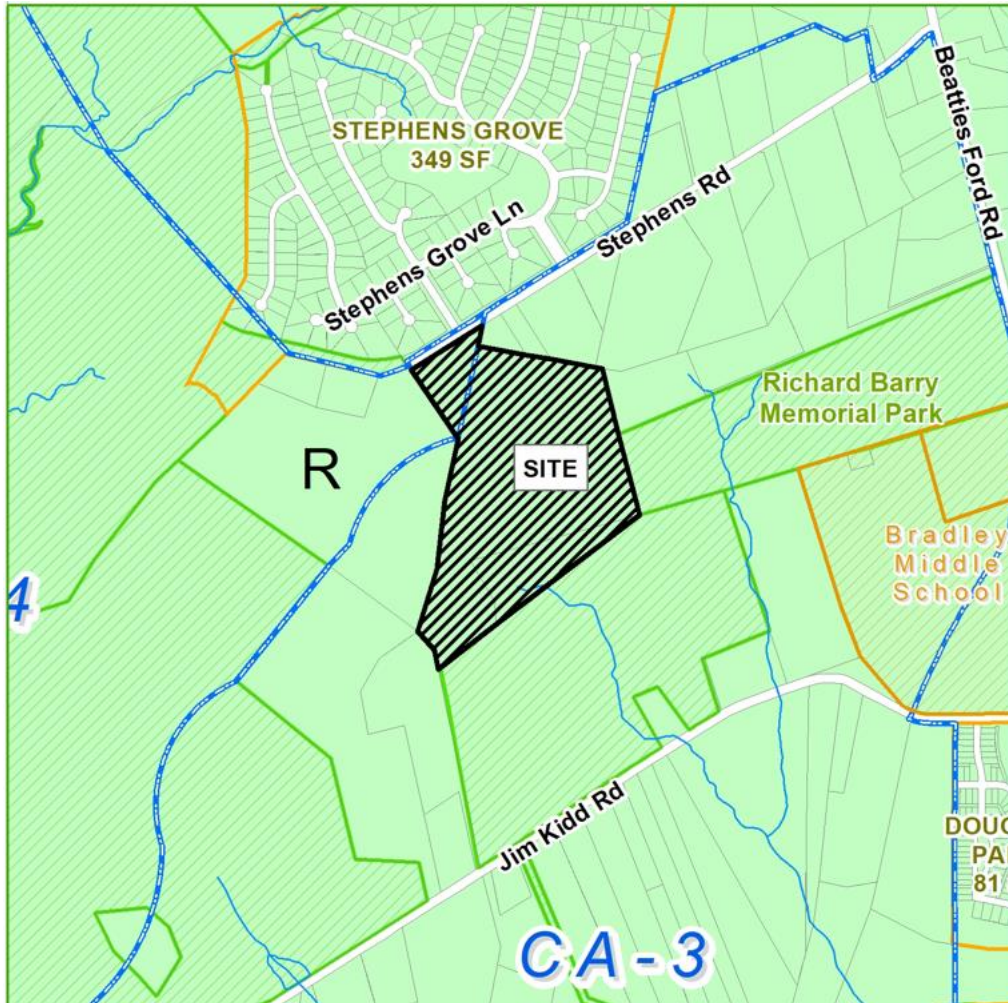
Adjourn

Motion: S. Hensley made a Motion to Adjourn. S. Swanick seconded the motion.

Vote: The motion passed unanimously (8-0).

Stephens Road Subdivision Sketch Plan

PART 1: PROJECT SUMMARY



Applicant: Classica Homes, LLC

Property Owner(s): Anthony David Kidd (see Attachment A).

Property Address: 6010 Stephens Road

Project Size: (+/-) 43.245-acres.

Parcel Number(s): 013-091-04, 013-081-26 & portion of 013-091-07.

Current Zoning: Rural (R).

Current Land Use: farmland & vacant.

Proposed Land Use: 26 single-family homes.

Proposed Density: 0.6 DUA.

PART 2: SITE PLAN DESCRIPTION AND ISSUES

1. Purpose: To subdivide 43.245-acres of land located along Stephens Road (south of Birchwalk Drive) (shown as "site" above) into 26 single-family lots.
2. Adjoining Zoning and Land Uses:
 - North: Rural (R) – single-family homes (Stephens Grove Subdivision).
 - South: Rural (R) – One single-family home and vacant. [NOTE: property is owned by City of Charlotte.]
 - East: Rural (R) – Several large-lot, single-family homes, Town of Huntersville Park (Richard Barry) & vacant.
 - West: Rural (R) – One large-lot, single-family home.
3. A neighborhood meeting was held on April 11, 2022 (see Attachment C). Approximately 26 residents were in attendance (see Attachment C). Resident questions related to transportation improvements, home placement and anticipated construction schedule.

4. The proposed subdivision has 26 single-family homes, with lots averaging 29,258 sq. ft. in size and a minimum 90 feet in width.
5. Tree survey data has not been provided and must be submitted to determine Ordinance compliance. In the Rural (R) zoning district, 50 percent of the specimen trees are required to be saved. There are no known heritage trees on the site. 50% of total canopy trees are required in the Rural (R) zoning district.
6. The subdivision will be developed in one (1) phase.
7. A water quality concept plan is being reviewed by the Town but has not been approved as of the date of this report.
8. A “Willingness to Serve” letter was provided by Charlotte Water on March 7, 2022.
9. Urban Open Space is not required in the Rural zoning district. 20.21-acres (47% of the site) is designated as common open space. Based on proposed density, 36% open space is required. Of note, there is a 1.48-acre central space located between the streets to serve all of the lots. The common open space is to be divided into Natural, Recreational and Agricultural Open Space, where present. This subdivision has both natural and recreational and must identify and describe those areas on the plan sheets.

PART 3: TRANSPORTATION ISSUES/TRAFFIC IMPACT ANALYSIS (TIA)

A TIA Determination of Need was completed for the site. Based on the use and intensity, a TIA for the site was not required.

There are only minor transportation comments from the Town, however, no comments from NCDOT to the applicant have been received.

PART 4: PLANNING STAFF ANALYSIS

Section 6.200 of the Subdivision Ordinance outlines the “general requirements and policies to be used in the design, review, and approval” of subdivisions in the Town of Huntersville. The following staff findings are provided for the Board’s consideration of the Stephens Road Subdivision Sketch Plan.

1. Consistency with adopted public plans and policies.

The following sections of the 2040 Huntersville Community Plan apply to this request:

- The proposed Stephens Road Subdivision lies completely within the “Rural Conservation” Future Land Use Character Area of the 2040 Community Plan. The Rural Conservation Character Area “preserves elements of rural character. They balance open space conservation and some residential development. Development form is farms and associated structures, Farmhouse Clusters and low-density Conservation Subdivisions (if access to utilities exists). New development has a 0.9 unit/acre maximum and typically 45% open space is required.”
- **Policy LU 2.2: Lower intensity residential uses are expected within the Residential Edge and Rural Conservation areas identified on the Future Land Use Map.**
Comment: The subdivision’s density is 0.64 units/acre, which is less than the Rural (R) District limit of 0.9 units/acre.
- **Policy LU 7.1: Require all new development to adhere to the design principles –** In lower intensity area, preservation of rural character and natural resources are prioritized.
Comment: The jurisdictional wetland area near the middle of the property and all of the trees on the west side are to be saved.
- **Policy LU 9.2: Within lower intensity areas including Residential Edge, Rural Conservation and Critical Watershed Areas, conservation design & farmhouse clusters are encouraged.** Development should be clustered away from key natural features and site design should minimize grading and maximize preservation of existing stands of mature, native trees.
Comment: The majority of existing trees will be preserved, as they are separated by the jurisdictional wetland area. The central and eastern portions of the development, where the homes will be located, was a farm and cleared of trees long ago.

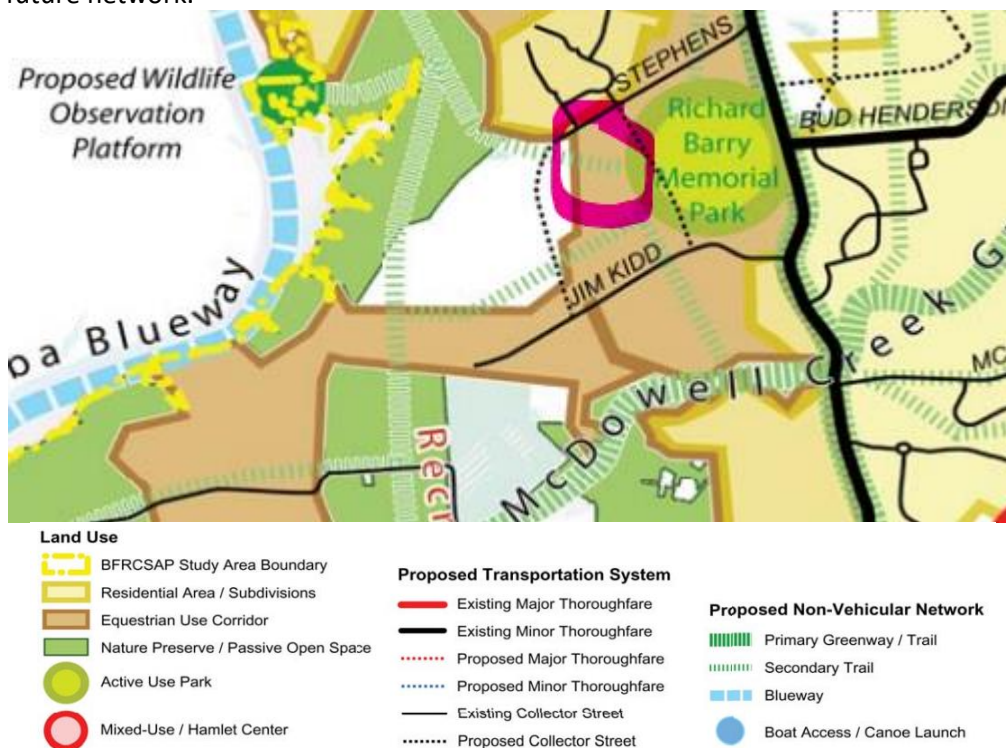
- **Policy LU 12.3: Blend new development with existing neighborhoods, structures and landscapes through the use of transitions in building types and placement of open space, buffers and other site features.** Comment: As the proposed lot size and arrangement do not match the adjacent large-lot single-family homes and farmland, a 20 feet landscape buffer surrounding the development will create an appropriate transition. It should be noted that the proposed lots are more in keeping with the Stephens Grove subdivision immediately north of Stephens Road.
- **Policy EOS 2.1: Continue to require and incentivize open space reservation in Residential Edge, Rural Conservation and Critical Watershed areas.** Encourage new developments to have at least 40% open space in new developments in these areas.
Comment: This subdivision has 47% open space, as shown (see Attachment B).
- **Policy EOS 4.3: Plant more trees and continue to require street trees in new developments.**
Comment: Street trees are provided along all new streets.
- **Policy EOS 8.2: Work toward the goal of 100% of residents within a 10-minute walking distance of a park, formalized or curated natural areas, publicly-accessible passive open space area or greenway access point.**
Comment: The subdivision abuts the Town of Huntersville’s Richard Barry Park and will provide a walking trail to the park’s western border to facilitate future connection.
- **Policy EOS 8.3: Continue to require locational standards for open space in new developments.** Urban Open Space should be located within walking distance of homes in new subdivisions that are not located in rural areas. Open space should be located in undivided preserves where possible and should be accessible to the largest number of lots with the development.
Comment: Urban Open Space is not required in the Rural district, however, all lots within the subdivision have appropriate access to the centrally located 1.48-acre common open space.
- **Policy EOS 10.1: Implement the Greenway, Trail and Bike Committee’s “30 x 30” Plan.** Connect all parks, schools, neighborhoods and major shopping into the Town’s Greenway System (The Vine) by 2030 incrementally over the next 10 years. Include greenways, sidewalks, multi-use paths, trails and dirtways.
Comment: The proposed subdivision will provide a walking trail to Richard Barry Park - while the Town’s Greenway Master Plan shows a connection along the southern border of this subdivision (see orange line below), the Town’s Greenway Trail & Bike Committee (GTBC) have revised the plan and would prefer the walking trail connection into Richard Barry Park, which will then connect to the larger greenway network.



- Policy PS 8.1: Continue to require new development to provide extensions (of public services) and infrastructure to serve new development, particularly in activity centers.**
Comment: Water and sewer is to be extended to this property, which will provide access to adjacent properties, as well.
- Policy T 3.1: Continue to enhance street connectivity by requiring connections among different uses.**
 Continue to require street connectivity among residential, commercial, employment, recreational and institutional uses. Context-sensitive street design should be applied.
Comment: The subdivision provides two (2) stubs to adjacent parcels to the south and west. There were no existing streets to provide connections.
- Policy T 3.2: Improve multimodal connectivity by coordinating with other departments to implement the Huntersville Bicycle Master Plan, expanding the greenway network and supporting enhanced pedestrian connections.**
Comment: The proposed subdivision to provide a trail connection to the western border of Richard Barry Park.
- Policy T 5.3: Support NCDOT's Complete Streets Policy.** Complete streets policies require all streets to be planned and designed to consider the safety and accessibility of all users, no matter their age and ability. Complete streets prioritize sidewalks, bicycle facilities and safe crossings in accordance with the street's context and function.
Comment: All proposed streets utilize the Town's residential street cross-section and provide appropriate lane widths and sidewalks on both sides.

The following sections of the Beatties Ford Road Small Area Plan apply to this request:

- The Transportation and Land Use Master Plan identifies this property as an "Equestrian Use Corridor" (pink highlight below), which seeks to "encourage equestrian-related uses and to highlight the special character of the corridor". While this development does not specifically provide land for this use, there is a large open space area set aside along the western edge which could facilitate light-use trails as part of a future network.



- Other relevant Implementation goals include:
 - Ensure the implementation of a comprehensive interconnected collector street network.
 - Continue the low-density residential development pattern within the study area.

2. Conformity.

There are no small-lot subdivisions south of Stephens Road, however the small-lot subdivision Stephens Grove is located immediately north of the subject property. Along the east, west and south sides of the property, there are large-lot, single-family homes, farmland and vacant land and the 20 ft. perimeter buffer will create transitions for the development.

3. Access between Adjoining Properties.

The subdivision provides one (1) new connection to Stephens Road from the north, one (1) new stub to the west (Street B) and one (1) to the south (Street A).

4. Relation to topography.

The majority of the 43.245-acres that make up Stephens Road Subdivision are generally flat, as the property was a farm, and the proposed street network and lot-layout generally respects the topography of the site.

5. Mature trees and natural vegetation.

The proposed project is required to save 50 percent of the tree canopy, 50 percent of the specimen trees and 100% of the heritage trees. A tree survey has not been submitted; therefore, compliance with these requirements has not been met.

6. Access to parks, schools, etc.

A trail will be provided to the western boundary of the Town of Huntersville's Richard Barry Park.

7. Discourage through traffic.

The proposed public street running through the middle of the subdivision from Stephens Road to the southern boundary is curved and will permit informal on-street parking. Until such time as the street is extended to Jim Kidd Road, a cul-de-sac will serve the end of the street. There is one (1) street stub (Street B) immediately south of Stephen Road connecting to the west. The internal streets are appropriately sized for residential traffic and are designed to include short blocks.

8. Relationship to railroad rights-of-way.

Not Applicable.

9. Half streets.

Not Applicable.

10. Parallel streets along thoroughfares.

Not Applicable.

11. Public School and Public Park Sites

The parcel associated with Stephens Road Subdivision Sketch Plan have not been identified for a school or park site.

12. Public Facilities

The parcel associated with the Stephens Road Subdivision Sketch Plan have not been identified for a public facility.

13. Proposed street names

The street names for Stephens Road Subdivision Sketch Plan would be approved with Preliminary (Construction) Plan submission (if Sketch Plan were approved).

14. Easements.

Easements have been identified and the plans have been sent to the respective Engineering and Utility Departments.

15. Proposed water and sewerage system.

Water and sewer will need to be extended to the development. A “Willingness to Serve” letter from Charlotte Water, dated March 7, 2022, has been provided.

16. Restrictions on the subdivision of land subject to flooding.

There is one (1) jurisdictional wetland that runs through the middle of the subdivision and there is no development proposed in that area.

17. Reserved.

18. Open Space

Proposed open space is 20.21-acres (47%). Rural (R) zoning requires 45% open space, minimum, to achieve maximum permitted density.

19. Impact of Development on Public Facilities

There is no indication the proposed subdivision will adversely impact public facilities. While this section of the Ordinance does not call for the specific consideration of impact to public schools (CMS), staff contacts Charlotte-Mecklenburg Schools (CMS) for an enrollment evaluation for all major subdivision requests. According to CMS, the development will generate thirteen (13) new student who will attend local schools. One of the schools is currently facing overcrowding issues. A section of CMS’s report is provided below. See Attachment D: CMS Report.

This development may add 13 students to the schools in this area.

The following data is as of the 20th Day of the 2021-22 school year.

<i>Schools Affected</i>	<i>Total Classroom Teachers</i>	<i>Building Classrooms/ Teacher Stations</i>	<i>20th Day, Enrollment (non-EC)</i>	<i>Building Classroom/ Adjusted Capacity (Without Mobiles)</i>	<i>20th Day, Building Utilization (Without Mobiles)</i>	<i>Additional Students As a result of this development</i>	<i>Utilization As of result of this development (Without Mobiles)</i>
BARNETTE ELEMENTARY	41.50	39	704	662	106%	5	106%
BRADLEY MIDDLE	57	53	1075	1000	108%	3	108%
HOPEWELL HIGH	99.0	100	1809	1827	99%	5	99%

PART 5: STAFF RECOMMENDATION

COMPLETENESS OF APPLICATION

Town Staff has reviewed the proposed Subdivision Sketch Plan and finds the application complete.

COMPLIANCE WITH APPLICABLE REQUIREMENTS

Stephens Road Subdivision Sketch Plan complies with all applicable requirements and is supported by the findings of fact outlined in Parts 2 – 4 of this report, with the following conditions:

There are several site plan issues that **MUST BE ADDRESSED**:

- A complete tree survey of the property must be provided to determine Ordinance compliance.
- Identify open space areas as either Natural and/or Recreational.
- Comments from NCDOT must be provided and addressed.
- All outstanding Town Transportation comments to be addressed.
- All outstanding redline comments to be addressed.

APPROVAL

The Stephens Road Subdivision Sketch Plan could comply with all applicable requirements once the conditions listed above are addressed. Staff Recommends Approval of the proposed Subdivision Sketch Plan based on satisfaction of the above listed items.

PART 6: PLANNING BOARD RECOMMENDATION

Planning Board will review on Tuesday, May 24, 2022.

PART 7: TOWN BOARD FINAL ACTION

The Town Board is tentatively scheduled to consider this request on Tuesday, June 21, 2022.

PART 8: ATTACHMENTS AND ENCLOSURES

- A – Subdivision Sketch Plan Application
- B – Proposed Stephens Road Subdivision Sketch Plan
- C – Neighborhood Meeting Report
- D – CMS Report

PART 9: DECISION STATEMENTS

Please refer to Part 5 of this report for recommendation.

In considering whether to approve an application for a subdivision sketch plan, the Planning and Town Board must complete the following (a full version can be found in [Section 6.320.5](#) of the Subdivision Ordinance).

- Is the application complete (lacking any particular requirement)? *If no member of the Board moves that the application is incomplete, then this inaction is taken as an affirmative finding that the application is complete.*
- Does the application comply with all the applicable requirements? *A statement must be made that the application complies or does not comply that includes the support documentation of the particular motion.*
- Lastly, the Board must make a motion to approve or deny based on the previous statements.



General Application

INCOMPLETE SUBMISSIONS WILL NOT BE ACCEPTED. PLEASE CHECK ALL ITEMS CAREFULLY.

1. Application Type

Please indicate the type of application you are submitting. In addition to the application, the submission process for each application type can be found at <https://www.huntersville.org/528/Permits-Process>

- ☐ Change of Use
- ☐ Commercial Site Plan
- ☐ Conditional Rezoning
- ☐ General Rezoning
- ☐ Master Signage Program
- ☐ Special Use Permit
- ☐ Revision to
Original Project # _____
- ☐ Other _____

- SUBDIVISION CATEGORIES: Per the Huntersville Subdivision Ordinance
- ☒ Sketch Plan
 - ☐ Preliminary Plan
 - ☐ Final Plat (Includes Minor Subdivision)
 - ☐ Exempt Subdivision
 - ☐ Final Plat Revision
 - ☐ Farmhouse Cluster

2. Project Data

Date of Application 02/04/2022

Name of Project Stephens Road Single Family Phase # (if subdivision) _____

Project Address Stephens Road, Huntersville, North Carolina 28078

Parcel Identification Number(s) (PIN) 01309104, 01308126, portion of 01309107

Current Zoning District R Proposed District (for rezoning only) _____

Property Size (acres) 43.245 ac Street Frontage (feet) ~267'

Current Land Use Vacant

Proposed Land Use(s) Single Family

Is the project within Huntersville's corporate limits?

Yes ☒ No _____ If no, does the applicant intend to voluntarily annex? _____

3. Description of Request

Explain the nature of this request. If a separate sheet is necessary, please attach to this application.

This request is for a sketch plan review of a low impact 26 lot single family subdivision off of Stephens Road.

4. Site Plan Submittals

Consult the particular type of *Review Process* for the application type selected above. These can be found at <https://www.huntersville.org/528/Permits-Process>.

5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The *Review Process* list includes plan documents needed for most town and county reviewing agencies. For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

6. Applicant

Printed Name Classica Homes, LLC Phone 704-940-0273
☐ Corporation ☒ Limited Liability Company ☐ Trust ☐ Partnership ☐ Other: _____

☐ By signature below, I hereby acknowledge, as/on behalf of (circle one) the applicant my understanding this application will be considered in a quasi-judicial proceeding and that neither I, nor anyone on my behalf, may contact the Board of Commissioners except through sworn testimony at the public hearing. (Applicable for Special Use Permits and Subdivisions)

Signature _____ Printed Name: Larry Burton

Title Land Acquisition & Entitlement Email lburton@classicahomes.com

Address of Applicant 2215 Ayrsley Town Blvd, Suite G, Charlotte, NC 28273

7. Property Owner (if different than applicant)

*Printed Name Anthony David Kidd Phone 704-650-1226
☐ Corporation ☐ Limited Liability Company ☐ Trust ☐ Partnership ☒ Other: Individual

☐ By signature below, I hereby acknowledge, as/on behalf of (circle one) the owner my understanding this application will be considered in a quasi-judicial proceeding and that neither I, nor anyone on my behalf, may contact the Board of Commissioners except through sworn testimony at the public hearing. (Applicable for Special Use Permits and Subdivisions)

Signature Anthony David Kidd Printed Name Anthony David Kidd

Title Property Owner Email _____

Address of Property Owner 5600 Stephens Road, Huntersville, North Carolina 28078

* Property owner hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Every owner of each parcel included in this application, or the owner (s) duly authorized agent, must sign this application. If signed by an agent on behalf of the Owner, this application MUST be accompanied by a notarized Limited Power of Attorney signed by the property owner (s), specifically authorizing the agent to act on the owner (s) behalf in signing this application. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID APPLICATION. **If additional space is needed for signatures, attach the Town of Huntersville Signature Addendum Form.**

8. Development/Design Firm Contact Information

Classica Homes, LLC	Larry Burton	704-940-0273	lburton@classicahomes.com
Development Firm	Name of Contact	Phone	Email
McAdams	Michael Duval, PE	980.729.9086	mduval@mcadamsco.com
Design Firm	Name of Contact	Phone	Email

Contact Information

Town of Huntersville	Phone:	704-875-7000
Planning Department	Fax:	704-992-5528
PO Box 664	Physical Address:	105 Gilead Road, Third Floor
Huntersville, NC 28070	Website:	https://www.huntersville.org/228/Planning-Department

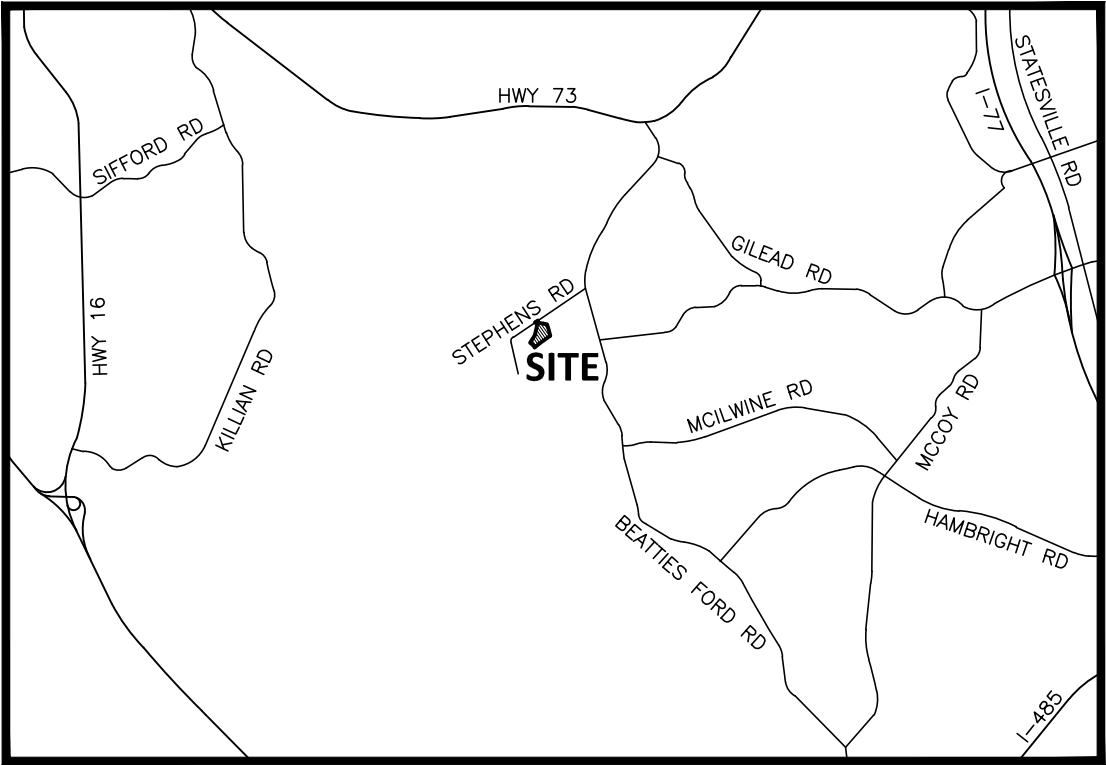
STEPHENS ROAD SUBDIVISION

STEPHENS ROAD
HUNTERSVILLE, NORTH CAROLINA, 28078

SKETCH PLAN

PROJECT NUMBER: CSH21001
DATE: 05/05/2022

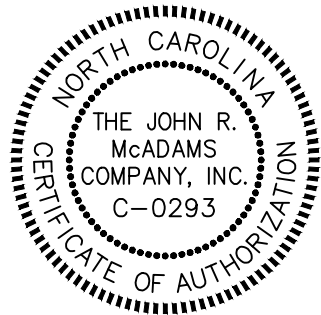
SHEET INDEX	
C	COVER SHEET
C0.00	EXISTING CONDITIONS
C0.01	SLOPE ANALYSIS
C0.02	SITE PLAN
C0.03	FRONTAGE IMPROVEMENT PLAN AND SECTIONS
C0.04	PRELIMINARY UTILITIES & DRAINAGE PLAN
C0.05	JIM KIDD RD EXTENSION
C0.06	FOUR STEP PROCESS
C0.07	VEHICULAR MOVEMENT
L5.00	OVERALL CODE LANDSCAPE PLAN
L5.01	LANDSCAPE DETAILS



VICINITY MAP
N.T.S.

CLIENT

LARRY BURTON
CLASSICA HOMES, LLC
2215 AYRSLEY TOWN BLVD, SUITE G
HUNTERSVILLE, NORTH CAROLINA 28078



REVISIONS

NO. DATE

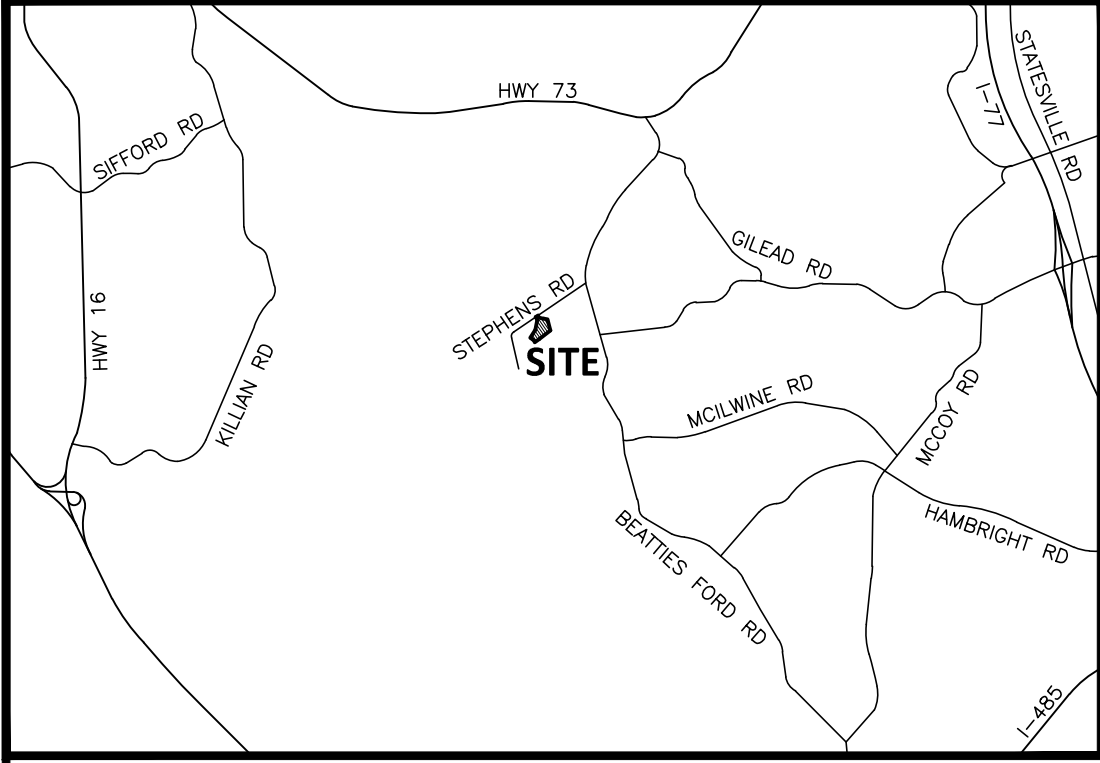
PLAN INFORMATION

PROJECT NO. CSH-21001
FILENAME CSH21001-CS - Sketch
CHECKED BY MD
DRAWN BY LJ
SCALE
DATE 05.05.2022

SHEET

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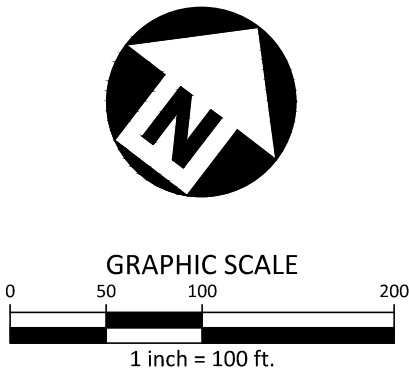
STEPHENS ROAD SUBDIVISION
HUNTERSVILLE, NC, 28078
PROJECT NUMBER: CSH-21001



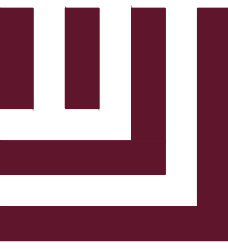
STEPHENS ROAD SUBDIVISION
SKETCH PLAN
EPM # _____



Know what's below.
Call before you dig.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



McAdams

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

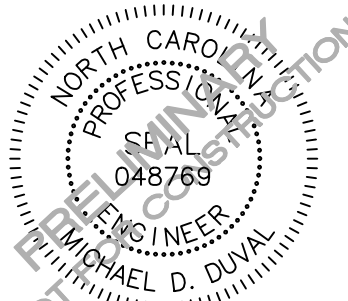
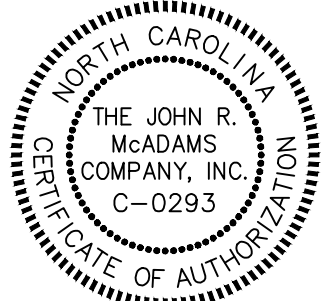
www.mcadamsco.com

CLIENT

LARRY BURTON
CLASSICA HOMES, LLC
2215 AYRSLEY TOWN BLVD, SUITE G
CHARLOTTE, NORTH CAROLINA 28273

STEPHENS ROAD SUBDIVISION CONSTRUCTION DRAWINGS

HUNTERSVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. CSH-21001
FILENAME CSH21001-XC1
CHECKED BY MD
DRAWN BY LJ
SCALE
DATE 02.25.2022

SHEET

EXISTING CONDITIONS

C0.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

STEPHENS ROAD SUBDIVISION
SKETCH PLAN
EPM # _____



20' SANITARY SEWER
EASEMENT

35' TEMPORARY CONSTRUCTION
EASEMENT STILL IN EFFECT FOR
EXISTING SEWER

ANTHONY DAVID KIDD
PARCEL 01309107
DB 4129, PG 335
ZONING: R

EXISTING INACTIVE OVERHEAD
POWER LINE, TO BE REMOVED

ANTHONY DAVID KIDD
PARCEL 01309107
DB 4129, PG 335
ZONING: R

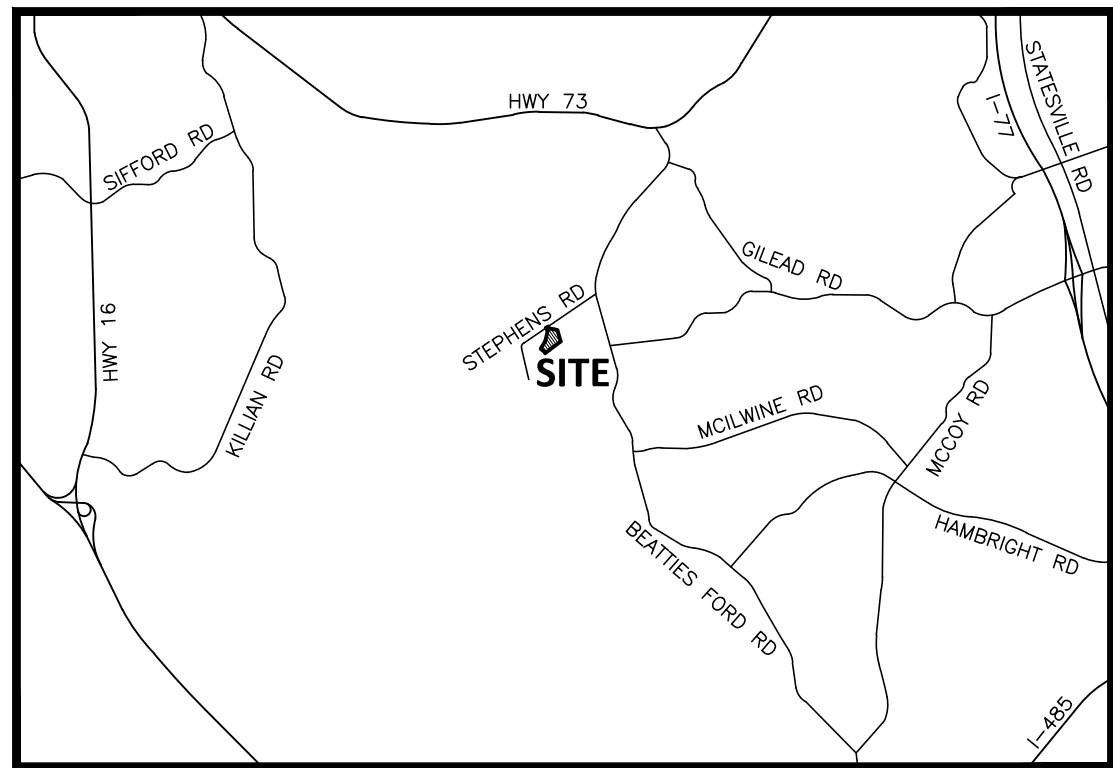
START NEW PROPERTY
LINE AT INTERSECTION OF
EXISTING PROPERTY LINE
AND TREE LINE

PROJECT BOUNDARY

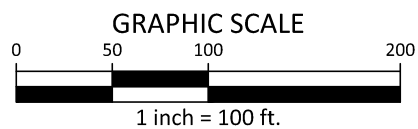
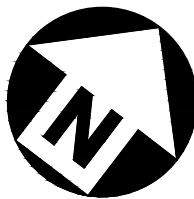
2.500 ACRES

HARRIET KIDD MCKENZIE
PARCEL 01305104
DB 6049, PG 158
ZONING: R

HARRIET KIDD MCKENZIE
PARCEL 01305101
DB 1934, PG 452
ZONING: R



VICINITY MAP
N.T.S.



EXISTING SEWER MAIN

JURISDICTIONAL WETLANDS
DELINATED BY WETLANDS
& WATERS, INC.

39.902 ACRES

EXISTING TREELINE

EXISTING 20'
SEWER EASEMENT

JURISDICTIONAL WETLANDS
DELINATED BY WETLANDS
& WATERS, INC.

TOP OF CREEK BANK

CITY OF CHARLOTTE
PORTION OF PARCEL 01308125
LOT A-2
DB 12822, PG 769
MB 36, PG 325
ZONING: R

JURISDICTIONAL WETLANDS
DELINATED BY WETLANDS
& WATERS, INC.

35' TEMPORARY CONSTRUCTION
EASEMENT STILL IN EFFECT FOR
EXISTING SEWER

EXISTING 20' SEWER
EASEMENT

CITY OF CHARLOTTE
PORTION OF PARCEL 01308125
LOT B-2
MB 36, PG 325
ZONING: R

EXISTING 20' SEWER EASEMENT

WATER QUALITY BUFFER
PER GIS

MECKLENBURG COUNTY
PARCEL 01309101
DB 12566, PG 462
ZONING: R

WATER QUALITY BUFFER
PER GIS

EXISTING
BIRCHWALK DR

EXISTING
STEPHENS ROAD
(60' WIDE R/W)
(NCDOT MAINTAINED)

ABRAHAM J. &
LINDSEY J. LEHMAN
PARCEL 01309130
DB 32423, PG 290
MB 62, PG 62
ZONING: R

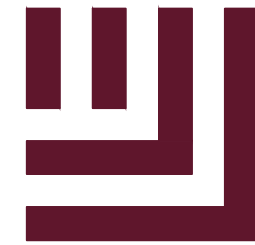
LLOYD RADESCHII
ETAL
PARCEL 01309129
DB 33493, PG 796
MB 62, PG 62
ZONING: R

DOUGLAS M. &
LYNN A. TANNER
PARCEL 01309105
DB 20483, PG 395
MB 62, PG 62
ZONING: R

JOHN D. &
JUDY C. KISER
PARCEL 01309109
DB 7480, PG 375
ZONING: R

JOHN D. &
JUDY C. KISER
PARCEL 01309117
DB 6947, PG 198
ZONING: R

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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Durham, NC 27713

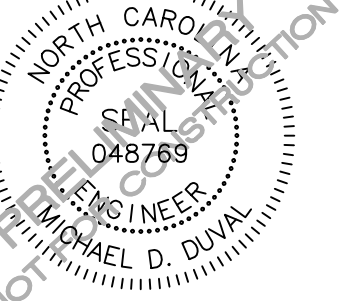
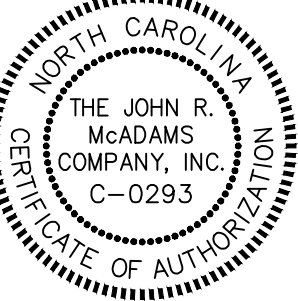
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CLIENT

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CLASSICA HOMES, LLC
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CHARLOTTE, NORTH CAROLINA 28273

STEPHENS ROAD SUBDIVISION SKETCH PLAN HUNTERSVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. CSH-21001
FILENAME CSH21001-SK2
CHECKED BY MD
DRAWN BY LJ
SCALE
DATE 05.05.2022

SHEET

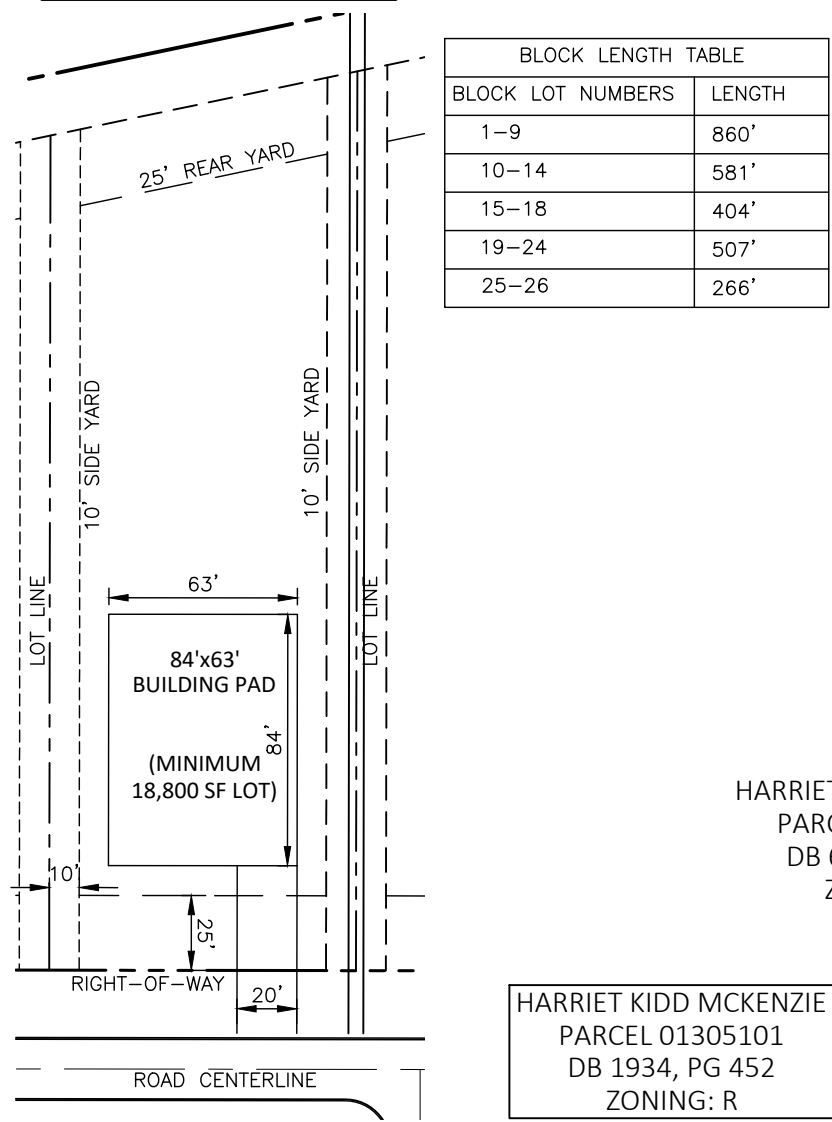
SLOPE ANALYSIS PLAN

C0.01

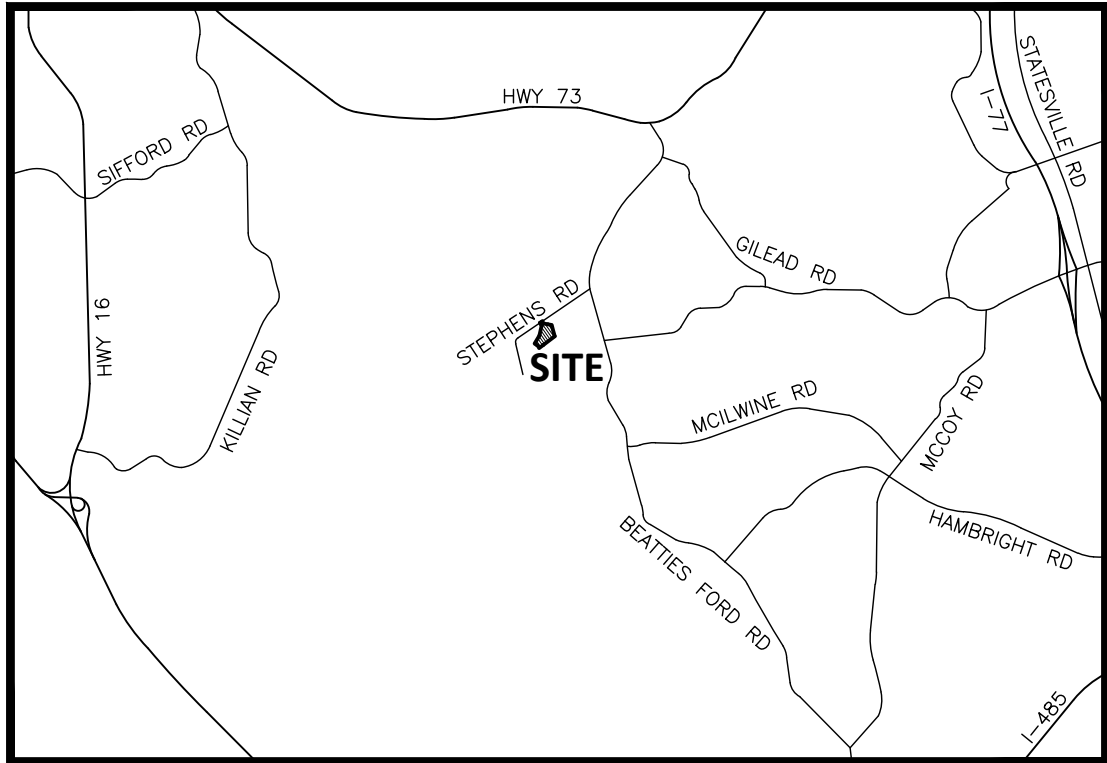
STEPHENS ROAD SUBDIVISION
SKETCH PLAN
EPM # _____

Proposed Use	Single Family Residential	
Zoning District	R	
Building Type	Detached House	
Single Family Lots		
90'x150' min.	26 lots	
Average Lot Size	+/- 29,258 sf	
Minimum Lot Size	+/- 18,811 sf	
Maximum Lot Size	+/- 45,613 sf	
Density	0.64 lots/ac	
Open Space		
Required (36% of site based on density)	15.57 acres	
Active Open Space Provided	1.79 acres	
Total Open Space Provided	20.21 acres	
Built-Up Area (Area)		
Roadways	55,300 sf	
Sidewalks	10,855 sf	
Building Pads (includes extra 150sf per lot)	159,220 sf	
Total Built-Up Area	225,375 sf	
Built-Up Area (Percentage)		
Roadways	2.936%	
Sidewalks	0.576%	
Building Pads (includes extra 150sf per lot)	8.452%	
Total Built-Up Area	11.964%	
Total Proposed Site Area	43.245 acres	
Permitted BUA Percentage	12%	
Permitted BUA Area	226,050 sf	
Remaining BUA	675 sf	
Setbacks		
Front	25	ft
Side	10	ft
Rear	25	ft
Disturbed Area Estimate	~12.44 acres	
Watershed	McDowell Watershed	

TYPICAL LOT SIZE

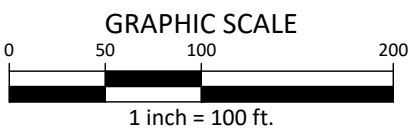
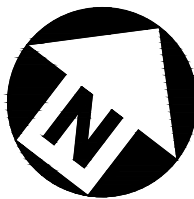


NOTE: ALL LOTS MEET MINIMUM STANDARDS



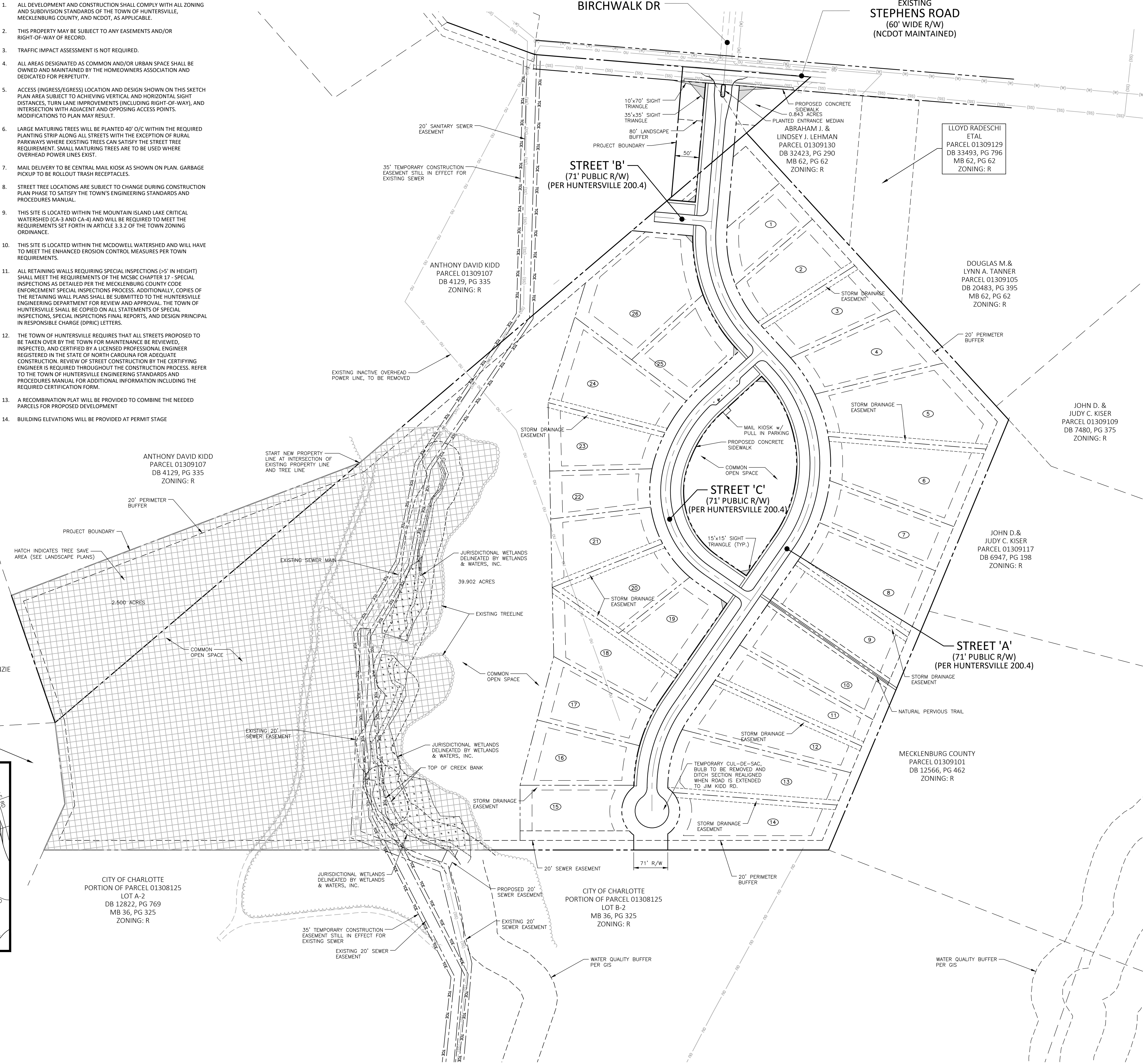
VICINITY MAP

N.T.S.

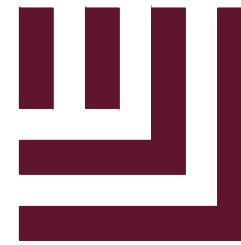


GENERAL NOTE:

- ALL DEVELOPMENT AND CONSTRUCTION SHALL COMPLY WITH ALL ZONING AND SUBDIVISION STANDARDS OF THE TOWN OF HUNTERVILLE, MECKLENBURG COUNTY, AND NCDOT, AS APPLICABLE.
- THIS PROPERTY MAY BE SUBJECT TO ANY EASEMENTS AND/OR RIGHT-OF-WAY OF RECORD.
- TRAFFIC IMPACT ASSESSMENT IS NOT REQUIRED.
- ALL AREAS DESIGNATED AS COMMON AND/OR URBAN SPACE SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND DEDICATED FOR PERPETUITY.
- ACCESS (INGRESS/EGRESS) LOCATION AND DESIGN SHOWN ON THIS SKETCH PLAN AREA SUBJECT TO ACHIEVING VERTICAL AND HORIZONTAL SIGHT DISTANCES, TURN LANE IMPROVEMENTS (INCLUDING RIGHT-OF-WAY), AND INTERSECTION WITH ADJACENT AND OPPOSING ACCESS POINTS. MODIFICATIONS TO PLAN MAY RESULT.
- LARGE MATURING TREES WILL BE PLANTED 40' O/C WITHIN THE REQUIRED PLANTING STRIP ALONG ALL STREETS WITH THE EXCEPTION OF RURAL PARKWAYS WHERE EXISTING TREES CAN SATISFY THE STREET TREE REQUIREMENT. SMALL MATURING TREES ARE TO BE USED WHERE OVERHEAD POWER LINES EXIST.
- MAIL DELIVERY TO BE CENTRAL MAIL KIOSK AS SHOWN ON PLAN. GARBAGE PICKUP TO BE ROLLOUT TRASH RECEPTACLES.
- STREET TREE LOCATIONS ARE SUBJECT TO CHANGE DURING CONSTRUCTION PLAN PHASE TO SATISFY THE TOWN'S ENGINEERING STANDARDS AND PROCEDURES MANUAL.
- THIS SITE IS LOCATED WITHIN THE MOUNTAIN ISLAND LAKE CRITICAL WATERSHED (CA-3 AND CA-4) AND WILL BE REQUIRED TO MEET THE REQUIREMENTS SET FORTH IN ARTICLE 3.3.2 OF THE TOWN ZONING ORDINANCE.
- THIS SITE IS LOCATED WITHIN THE MCDOWELL WATERSHED AND WILL HAVE TO MEET THE ENHANCED EROSION CONTROL MEASURES PER TOWN REQUIREMENTS.
- ALL RETAINING WALLS REQUIRING SPECIAL INSPECTIONS (15' IN HEIGHT) SHALL MEET THE REQUIREMENTS OF THE MCSBC CHAPTER 17 - SPECIAL INSPECTIONS AS DETAILED PER THE MECKLENBURG COUNTY CODE ENFORCEMENT SPECIAL INSPECTIONS PROCESS. ADDITIONALLY, COPIES OF THE RETAINING WALL PLANS SHALL BE SUBMITTED TO THE HUNTERVILLE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL. THE TOWN OF HUNTERVILLE SHALL BE COPIED ON ALL STATEMENTS OF SPECIAL INSPECTIONS, SPECIAL INSPECTIONS FINAL REPORTS, AND DESIGN PRINCIPAL IN RESPONSIBLE CHARGE (DPRIC) LETTERS.
- THE TOWN OF HUNTERVILLE REQUIRES THAT ALL STREETS PROPOSED TO BE TAKEN OVER BY THE TOWN FOR MAINTENANCE BE REVIEWED, INSPECTED, AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA FOR ADEQUATE CONSTRUCTION. REVIEW OF STREET CONSTRUCTION BY THE CERTIFYING ENGINEER IS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS. REFER TO THE TOWN OF HUNTERVILLE ENGINEERING STANDARDS AND PROCEDURES MANUAL FOR ADDITIONAL INFORMATION INCLUDING THE REQUIRED CERTIFICATION FORM.
- A RECOMBINATION PLAT WILL BE PROVIDED TO COMBINE THE NEEDED PARCELS FOR PROPOSED DEVELOPMENT
- BUILDING ELEVATIONS WILL BE PROVIDED AT PERMIT STAGE



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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The John R. McAdams Company, Inc.
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Durham, NC 27713

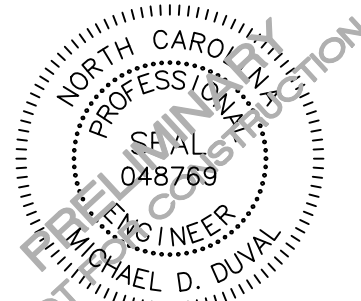
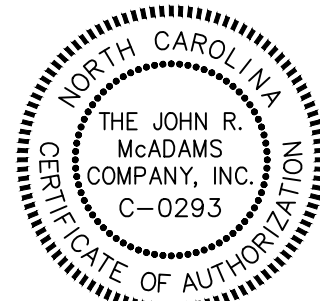
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license number: C-0293, C-187

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CLIENT

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CLASSICA HOMES, LLC
2215 AYRSLEY TOWN BLVD, SUITE G
CHARLOTTE, NORTH CAROLINA 28273

STEPHENS ROAD SUBDIVISION SKETCH PLAN HUNTERVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

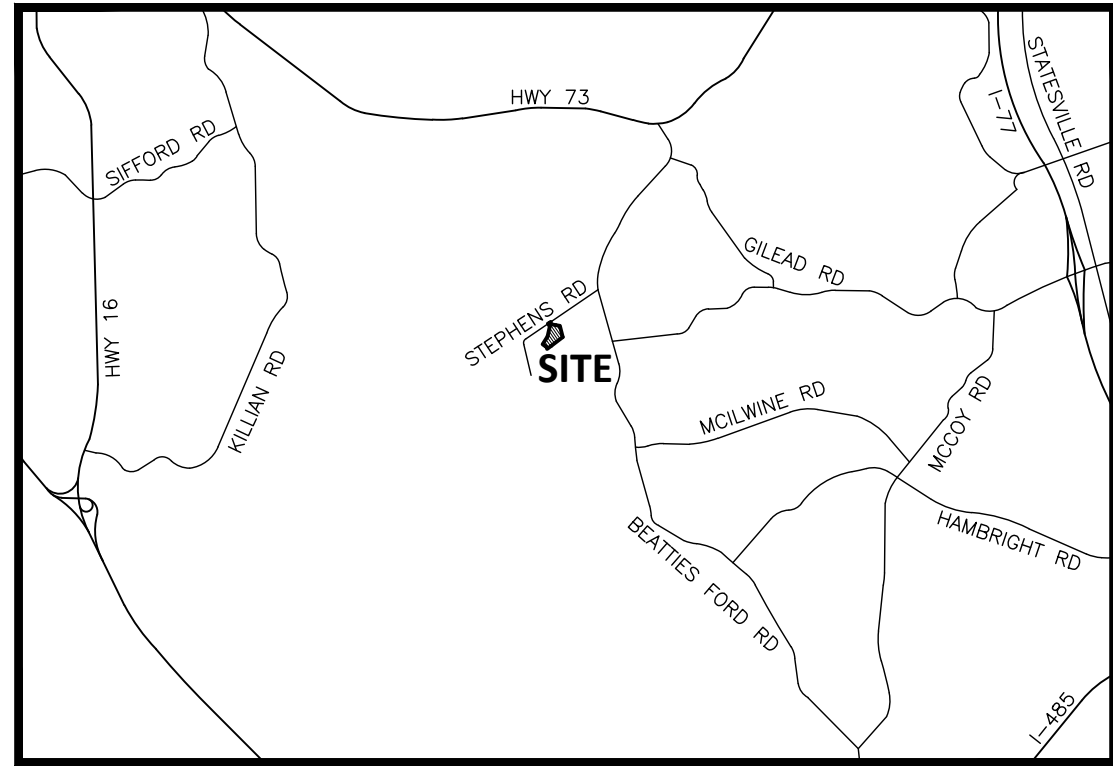
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FILENAME CSH21001-SK1
CHECKED BY MD
DRAWN BY LJ
SCALE
DATE 05.05.2022

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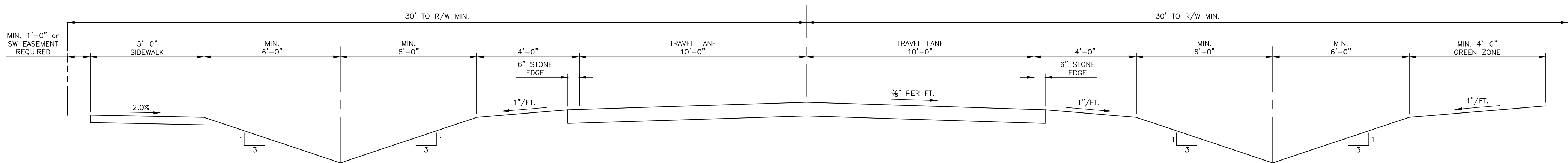
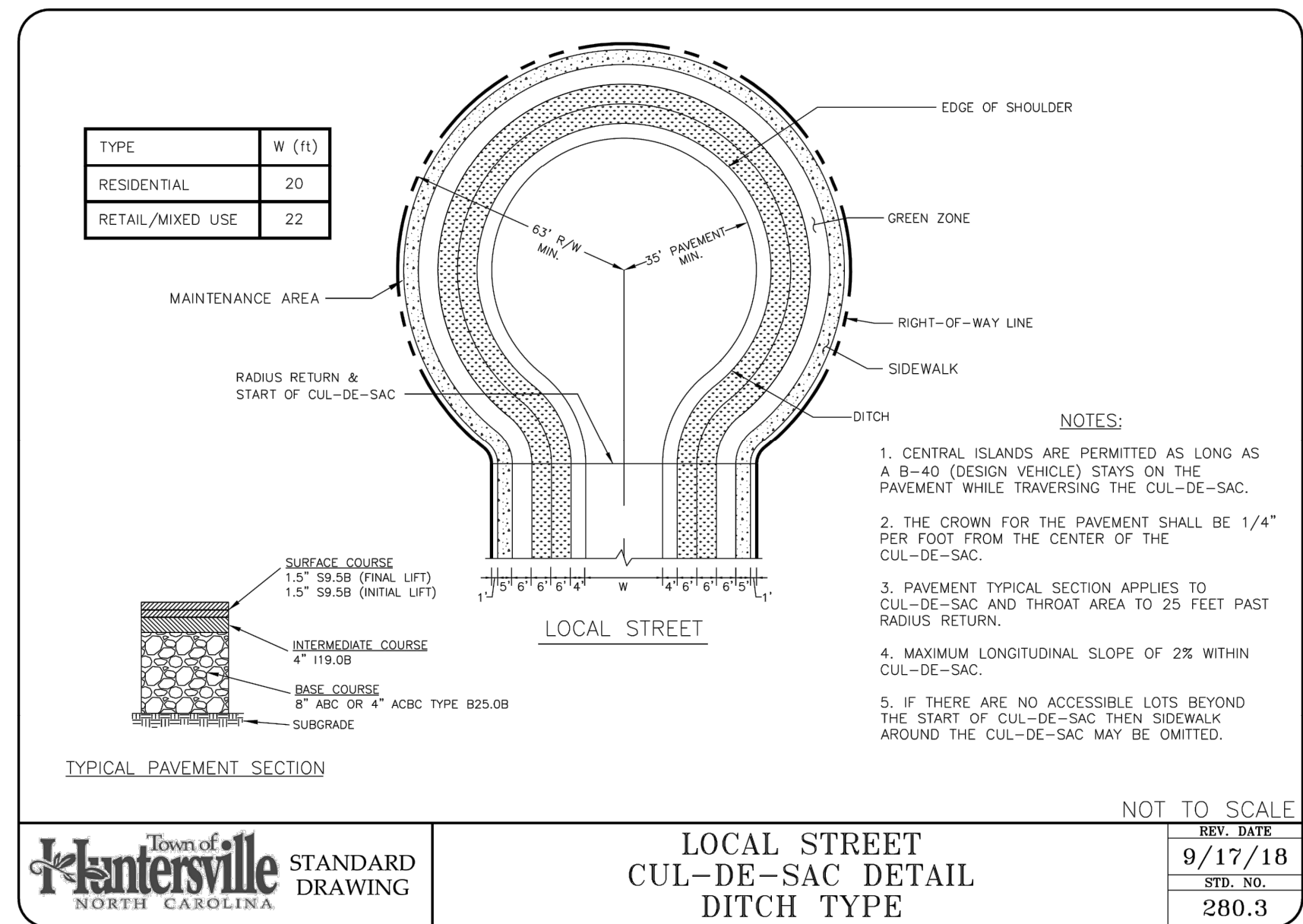
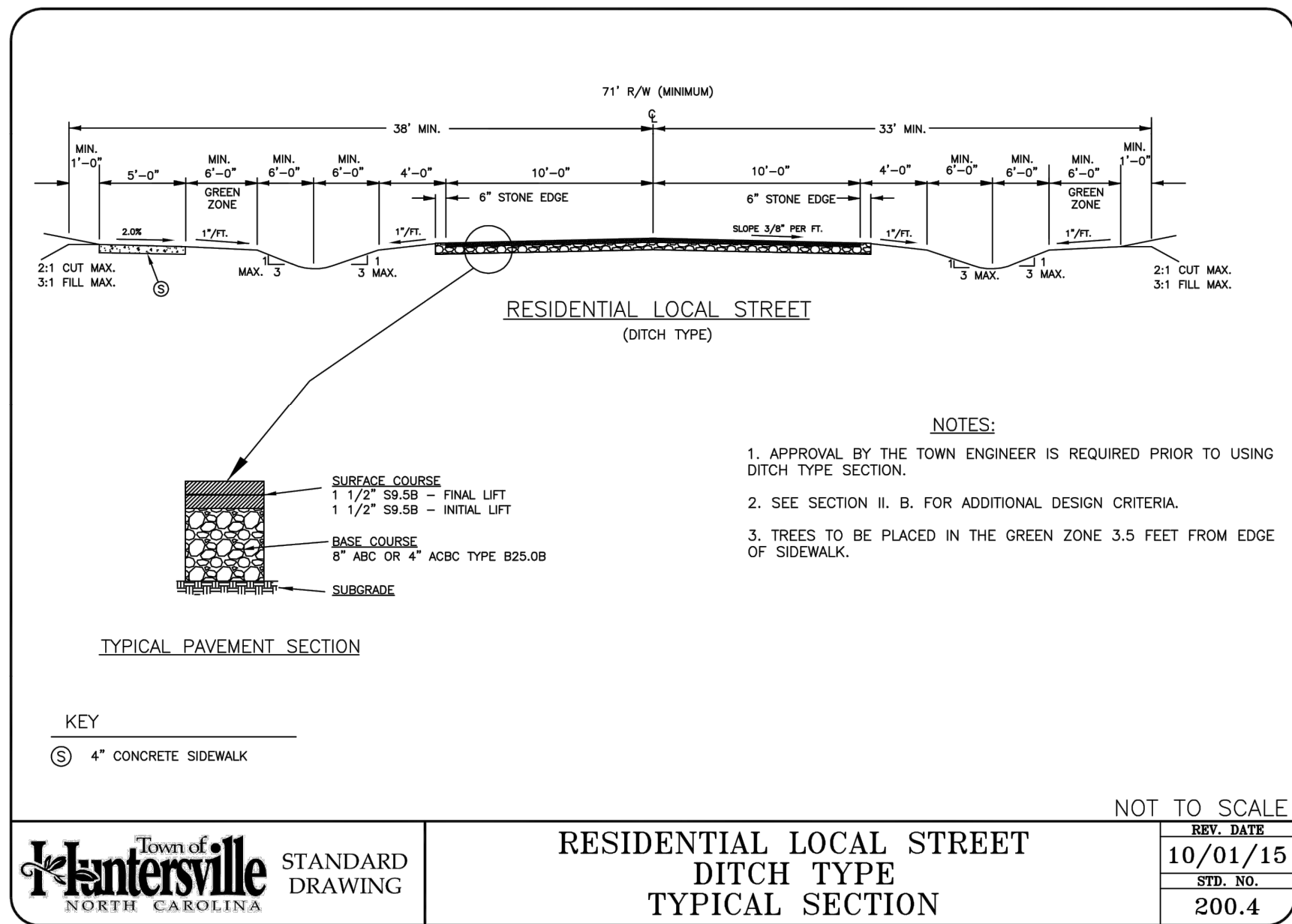
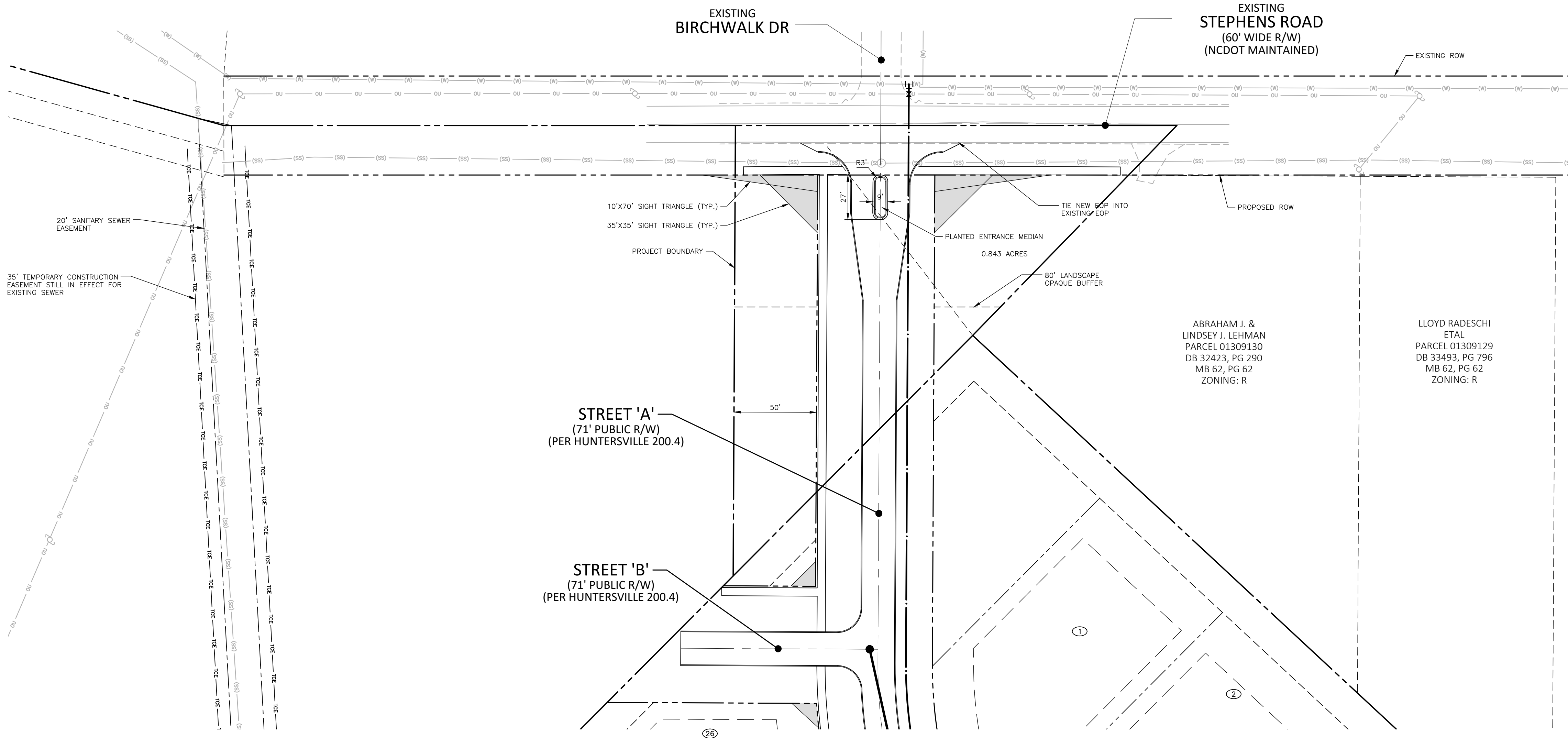
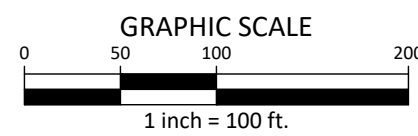
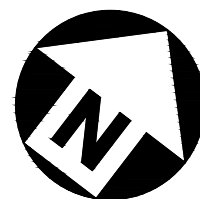
SITE PLAN

C0.02

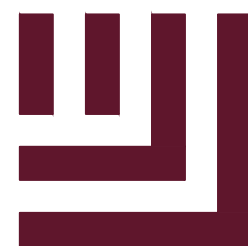
STEPHENS ROAD SUBDIVISION
SKETCH PLAN
EPM # _____



VICINITY MAP
N.T.S.



STEPHENS ROAD CROSS-SECTION
N.T.S.



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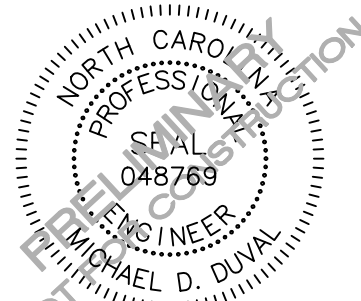
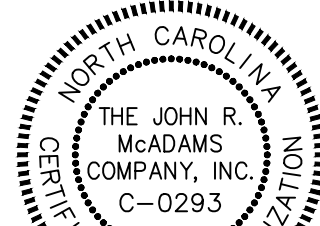
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CHARLOTTE, NORTH CAROLINA 28273

STEPHENS ROAD SUBDIVISION
SKETCH PLAN
HUNTERSVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. CSH-21001
FILENAME CSH21001-SK1
CHECKED BY MD
DRAWN BY LJ
SCALE
DATE 05.05.2022

SHEET

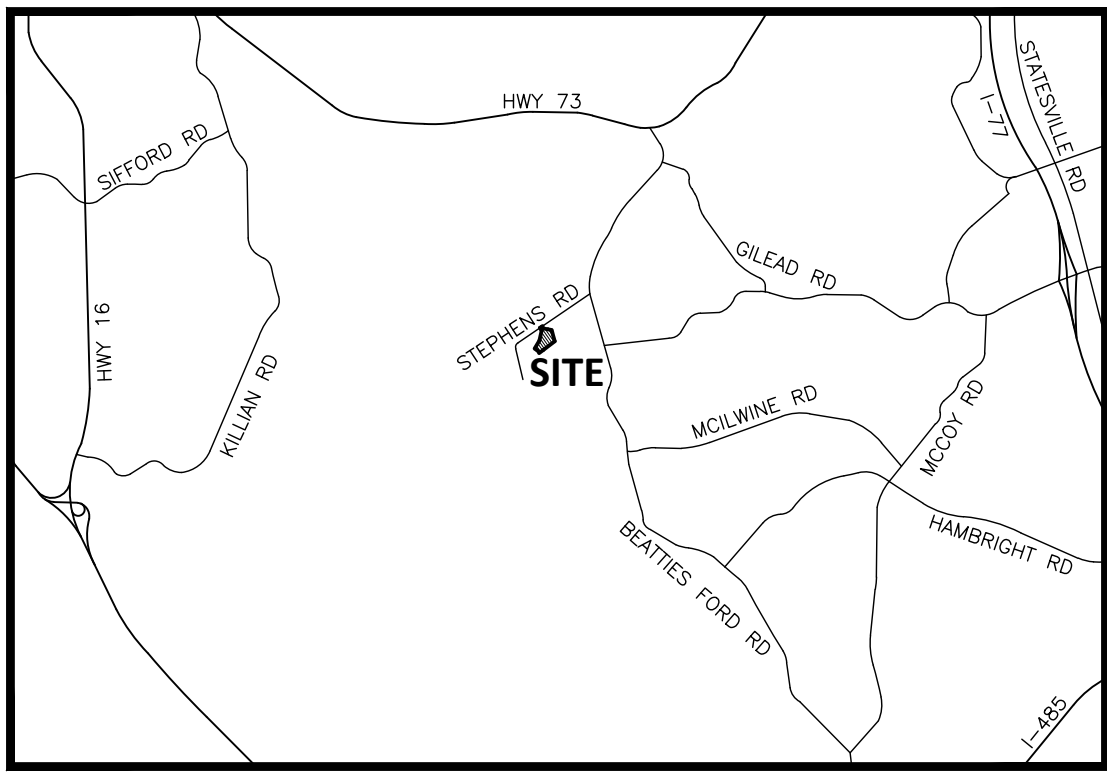
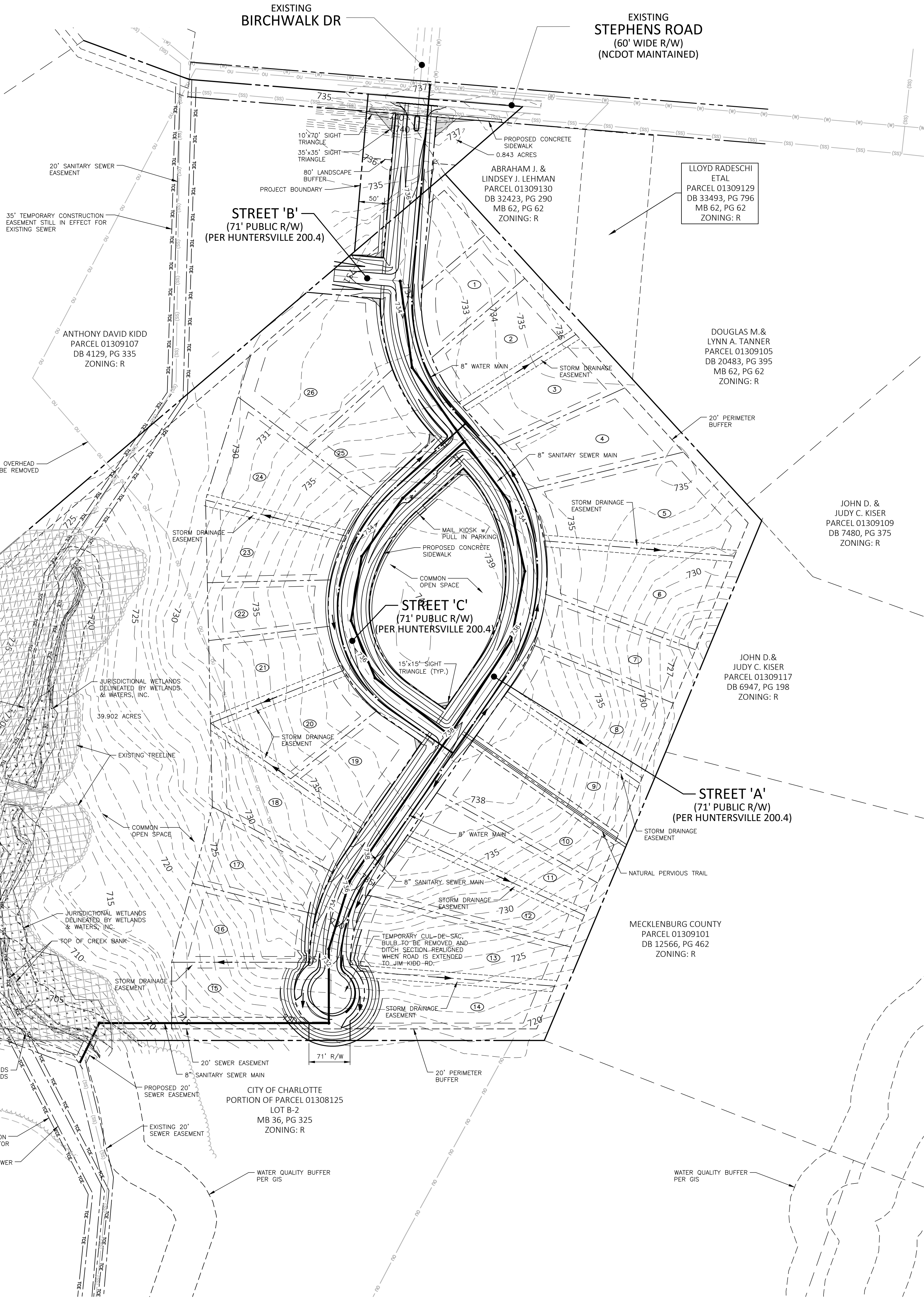
FRONTAGE IMPROVEMENT
PLAN AND SECTIONS

C0.03

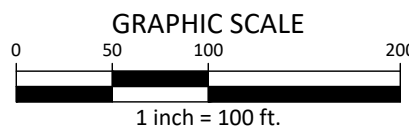
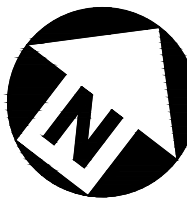
STEPHENS ROAD SUBDIVISION
SKETCH PLAN
EPM # _____

GENERAL NOTE:

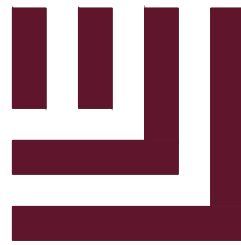
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- THIS PROPERTY MAY BE SUBJECT TO ANY EASEMENTS AND/OR RIGHT-OF-WAY OF RECORD.
- ACCESS (INGRESS/EGRESS) LOCATION AND DESIGN SHOWN ON THIS SKETCH PLAN AREA SUBJECT TO ACHIEVING VERTICAL AND HORIZONTAL SIGHT DISTANCES, TURN LANE IMPROVEMENTS (INCLUDING RIGHT-OF-WAY), AND INTERSECTION WITH ADJACENT AND OPPOSING ACCESS POINTS. MODIFICATIONS TO PLAN MAY RESULT.
- ALL RETAINING WALLS REQUIRING SPECIAL INSPECTIONS (>5' IN HEIGHT) SHALL MEET THE REQUIREMENTS OF THE MCSBC CHAPTER 17 - SPECIAL INSPECTIONS AS DETAILED PER THE MECKLENBURG COUNTY CODE ENFORCEMENT SPECIAL INSPECTIONS PROCESS. ADDITIONALLY, COPIES OF THE RETAINING WALL PLANS SHALL BE SUBMITTED TO THE HUNTERSVILLE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL. THE TOWN OF HUNTERSVILLE SHALL BE COPIED ON ALL STATEMENTS OF SPECIAL INSPECTIONS, SPECIAL INSPECTIONS FINAL REPORTS, AND DESIGN PRINCIPAL IN RESPONSIBLE CHARGE (DPRIC) LETTERS.
- SANITARY SEWER MANHOLES ARE REQUIRED TO BE IN THE CENTER OF TRAVEL LANE.
- ALL APPROVALS/EASEMENTS REQUIRED FOR UTILITY INSTALLATION WILL BE HANDLED DURING THE CONSTRUCTION PHASE.



VICINITY MAP
N.T.S.



M:\Projects\CSH\CSH21001\Map-Production\Engineers\Current Drawings\CSH21001-SK1.dwg, 5/6/2022 2:31:55 PM, Michael Duval



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Durham, NC 27713

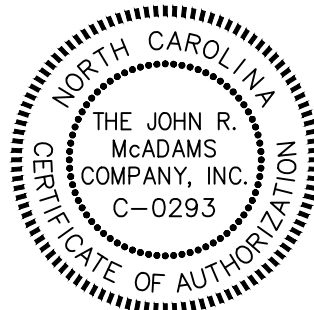
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CHARLOTTE, NORTH CAROLINA 28273

STEPHENS ROAD SUBDIVISION
SKETCH PLAN
HUNTERSVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. CSH-21001
FILENAME CSH21001-SK1
CHECKED BY MD
DRAWN BY LJ
SCALE
DATE 05.05.2022

SHEET

PRELIMINARY UTILITIES
& DRAINAGE PLAN

C0.04

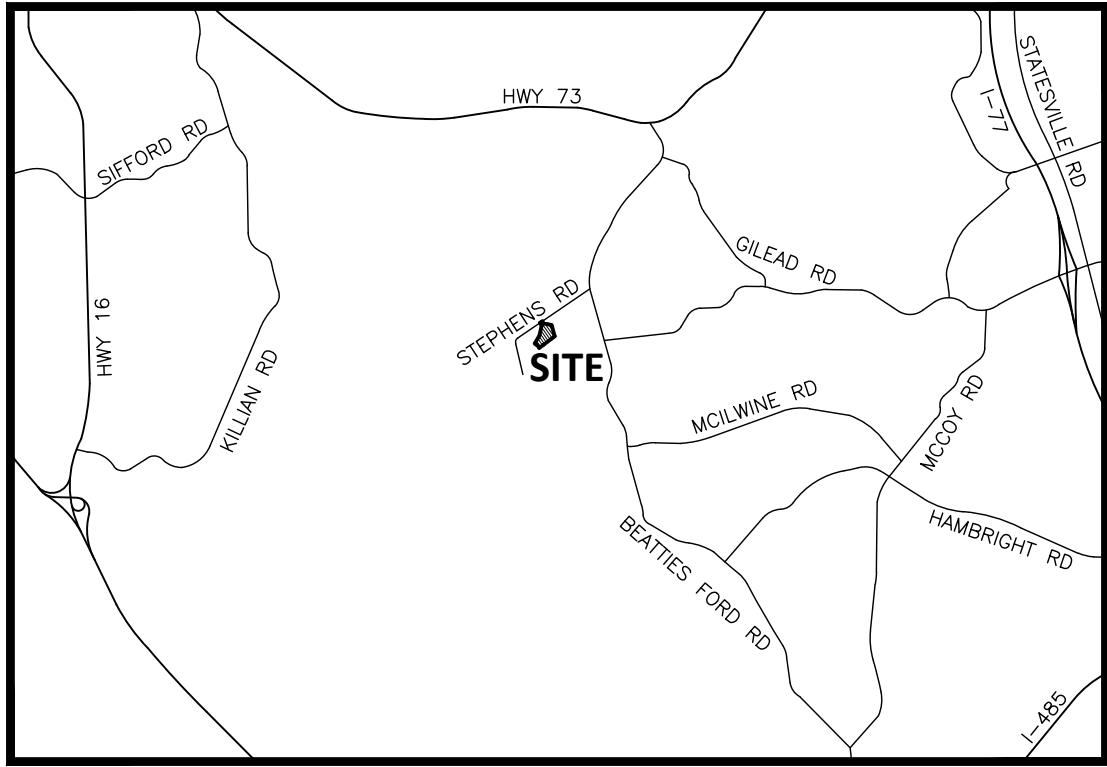
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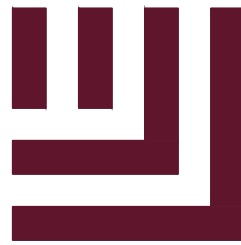
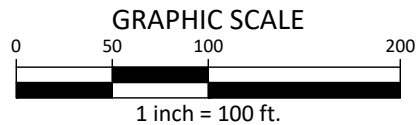
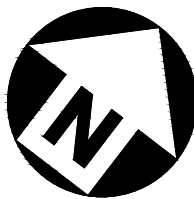
1. THIS PLAN IS TO SHOW THE ROW TIE OUT AT THE SOUTHERN PROPERTY LINE AND THE RELATION TO JIM KIDD ROAD FOR THE POSSIBLE EXTENSION IN THE FUTURE.



EXISTING
JIM KIDD ROAD



VICINITY MAP
N.T.S.



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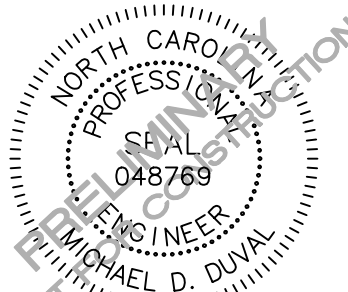
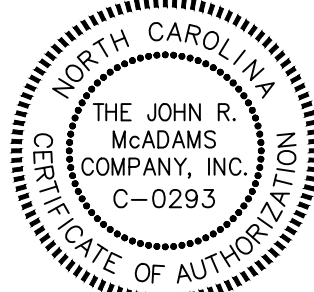
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HUNTERSVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

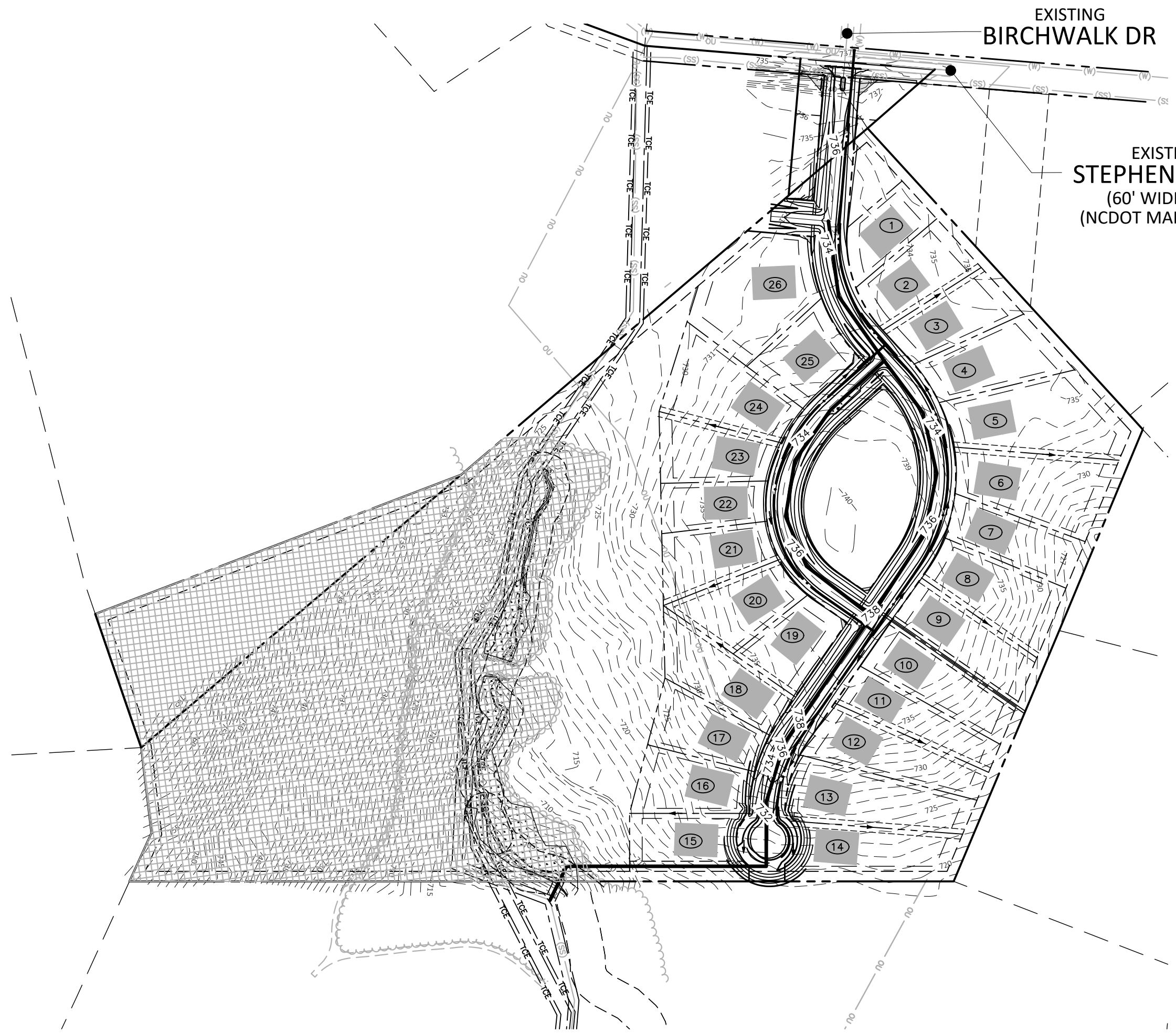
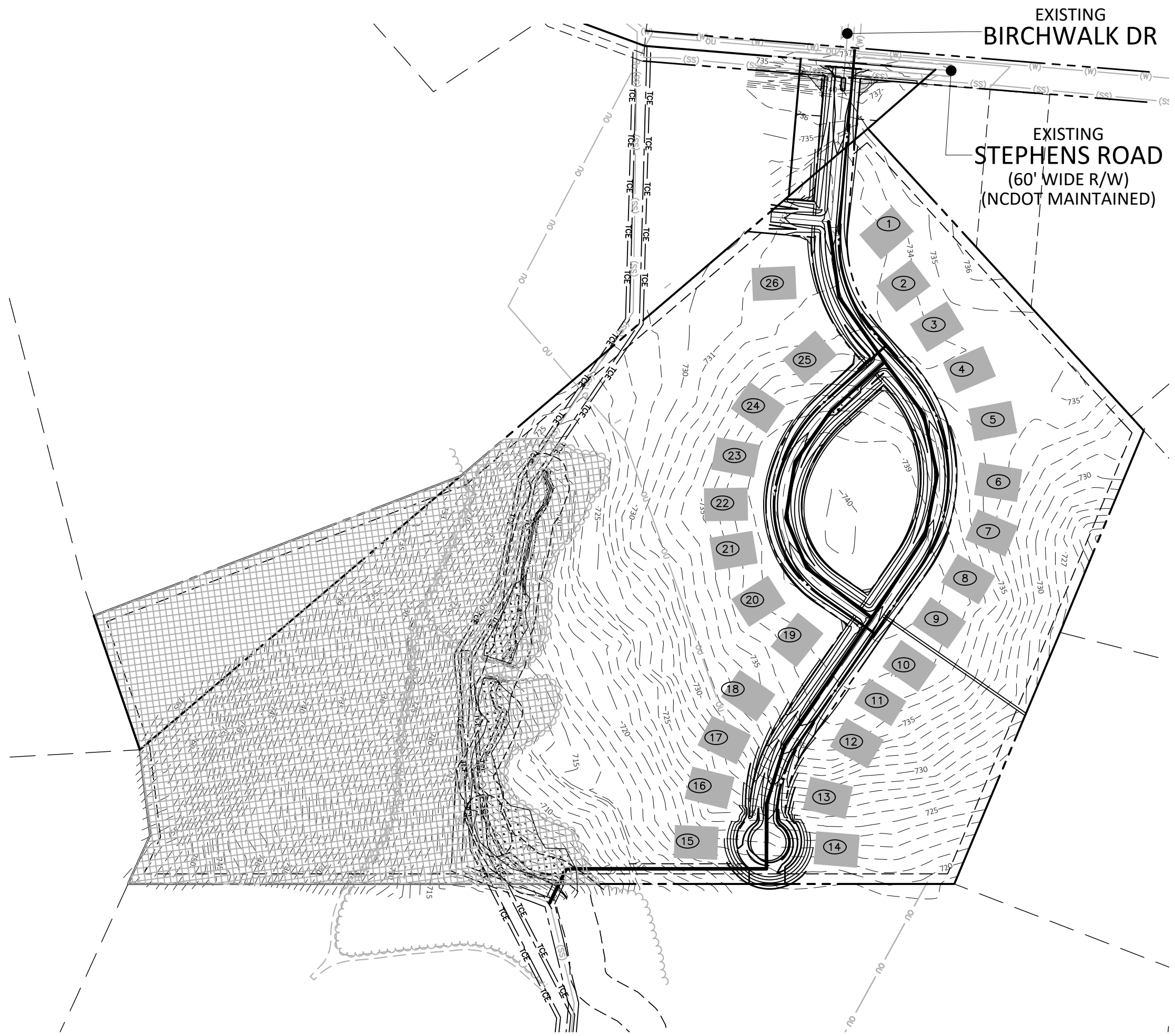
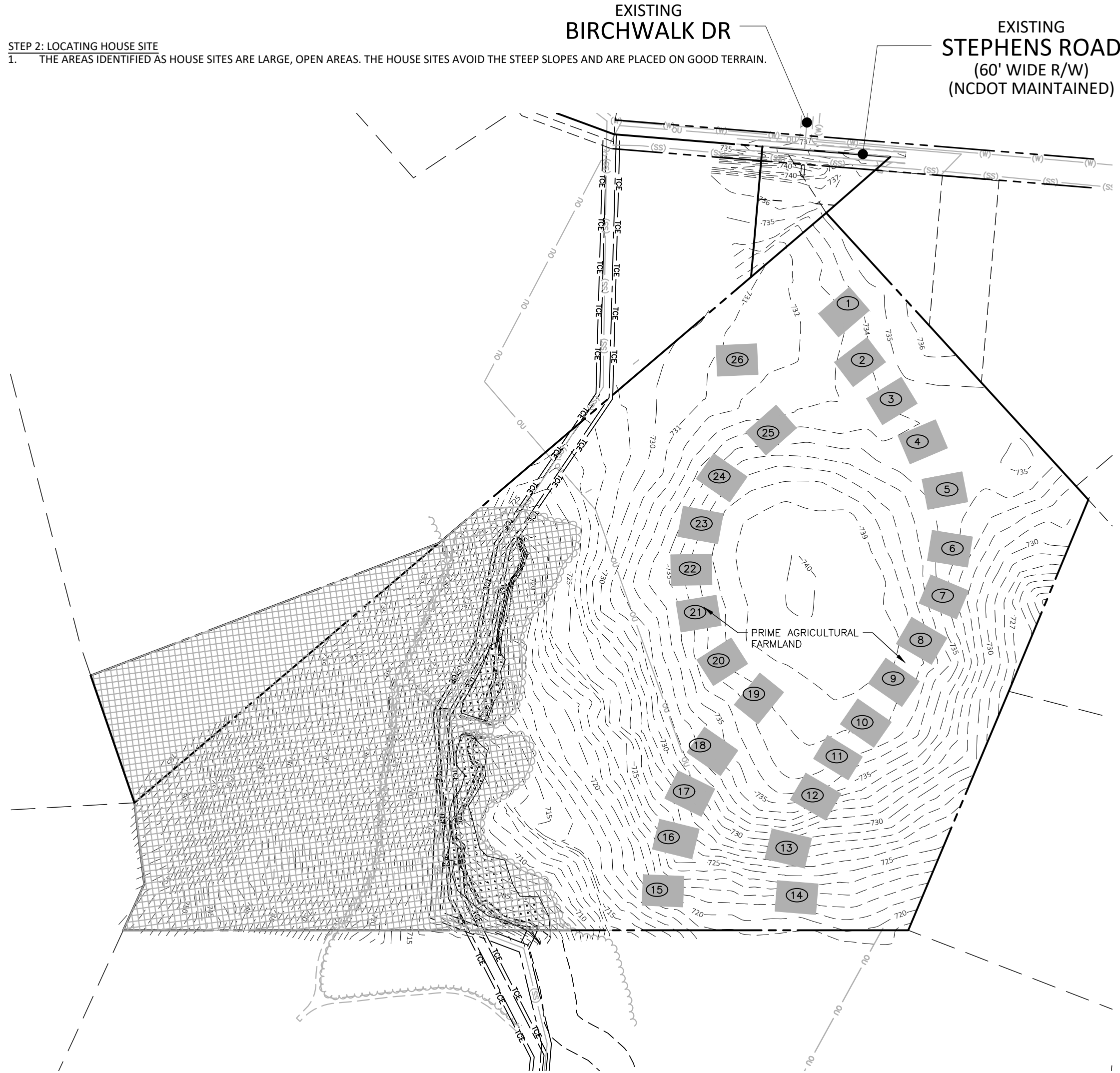
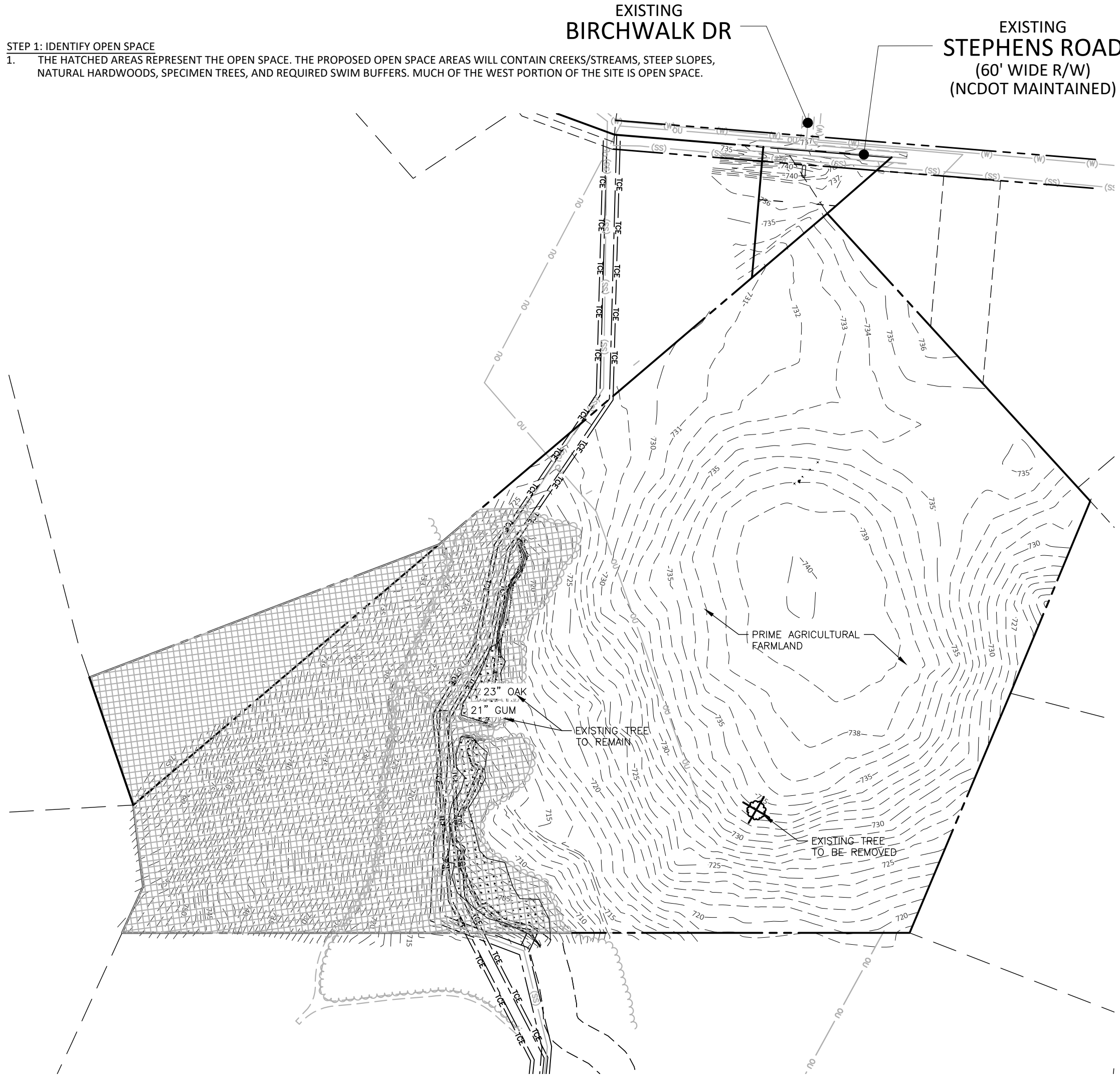
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PROJECT NO. CSH-21001
FILENAME CSH21001-SK1
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DATE 05.05.2022

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SKETCH PLAN
JIM KIDD RD EXTENSION

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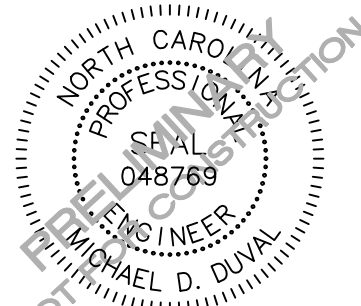
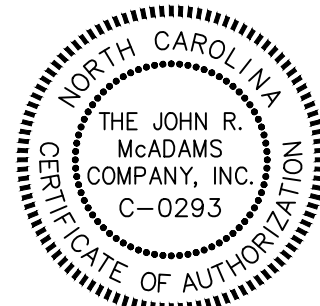
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STEPHENS ROAD SUBDIVISION SKETCH PLAN HUNTERSVILLE, NORTH CAROLINA



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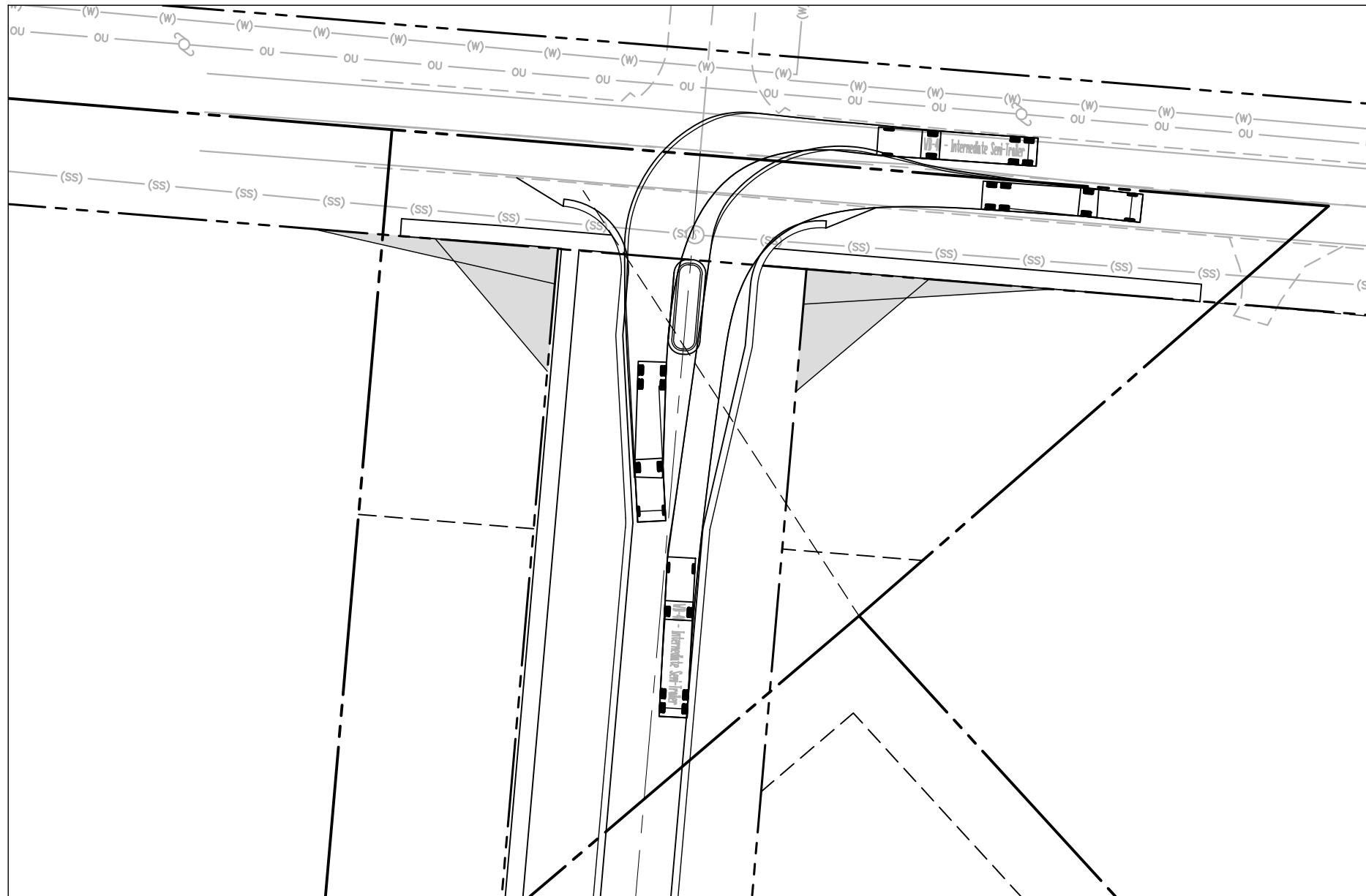
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FOUR STEP PROCESS

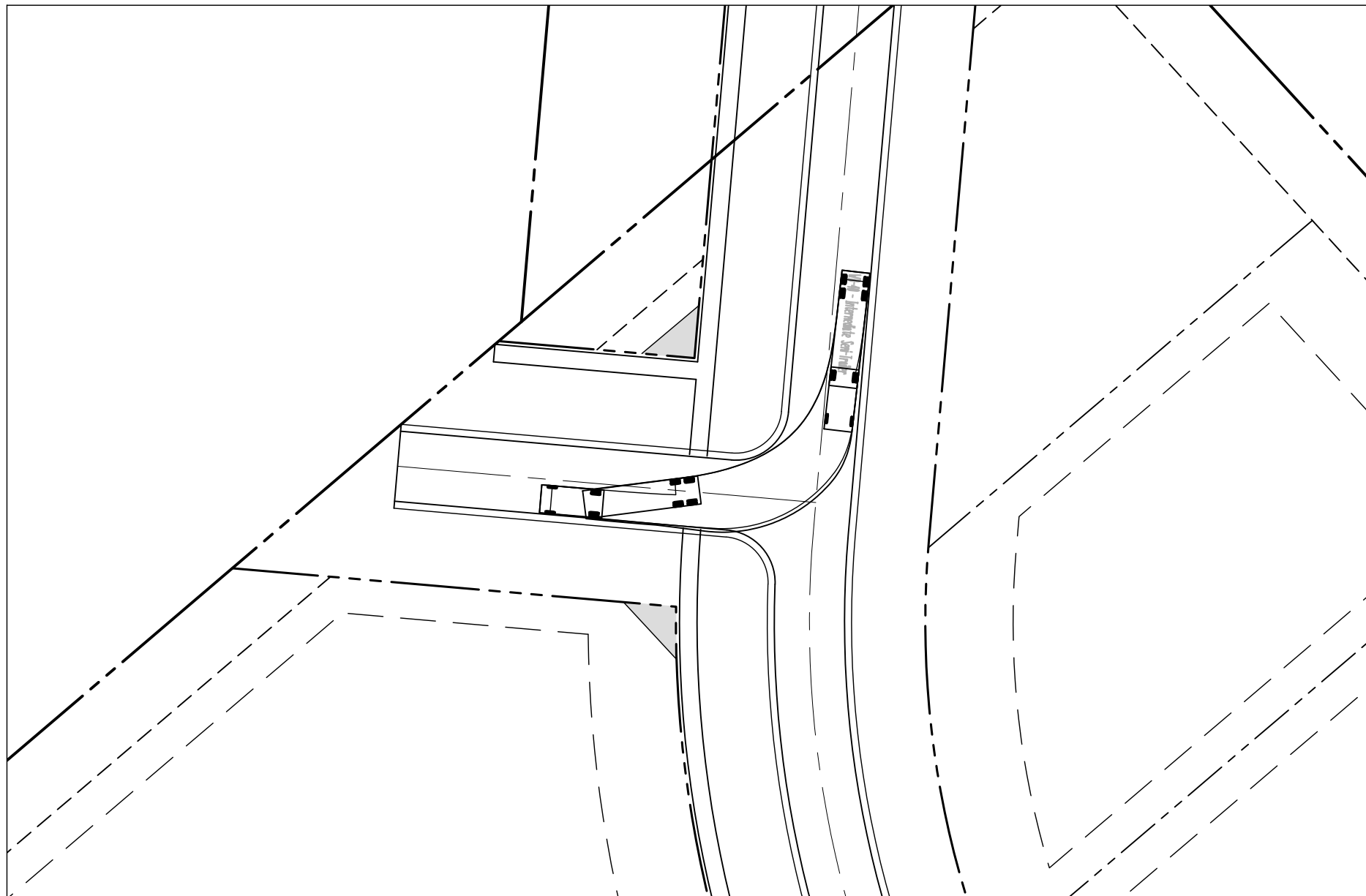
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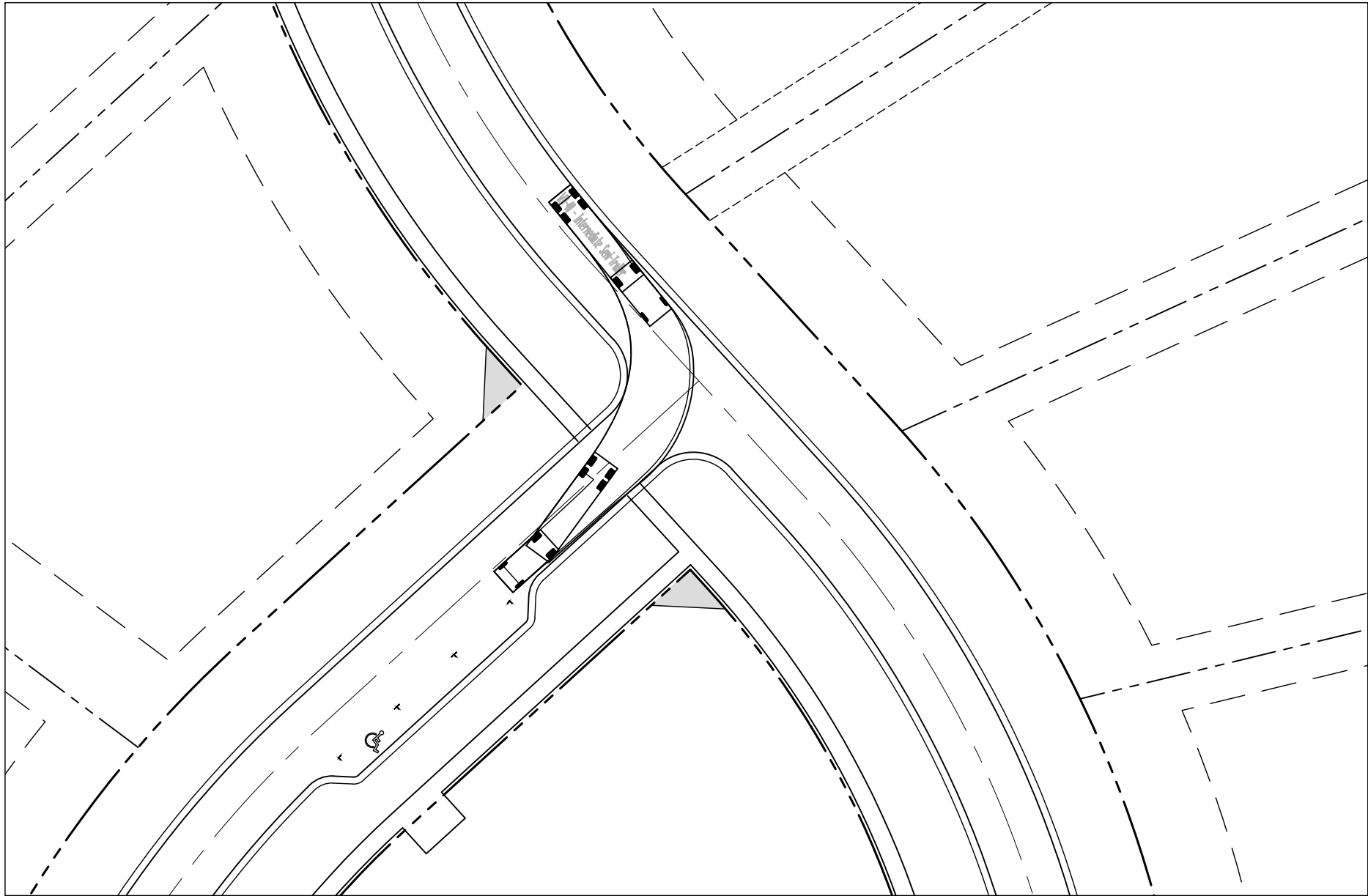
STEPHENS ROAD SUBDIVISION
SKETCH PLAN
EPM # _____



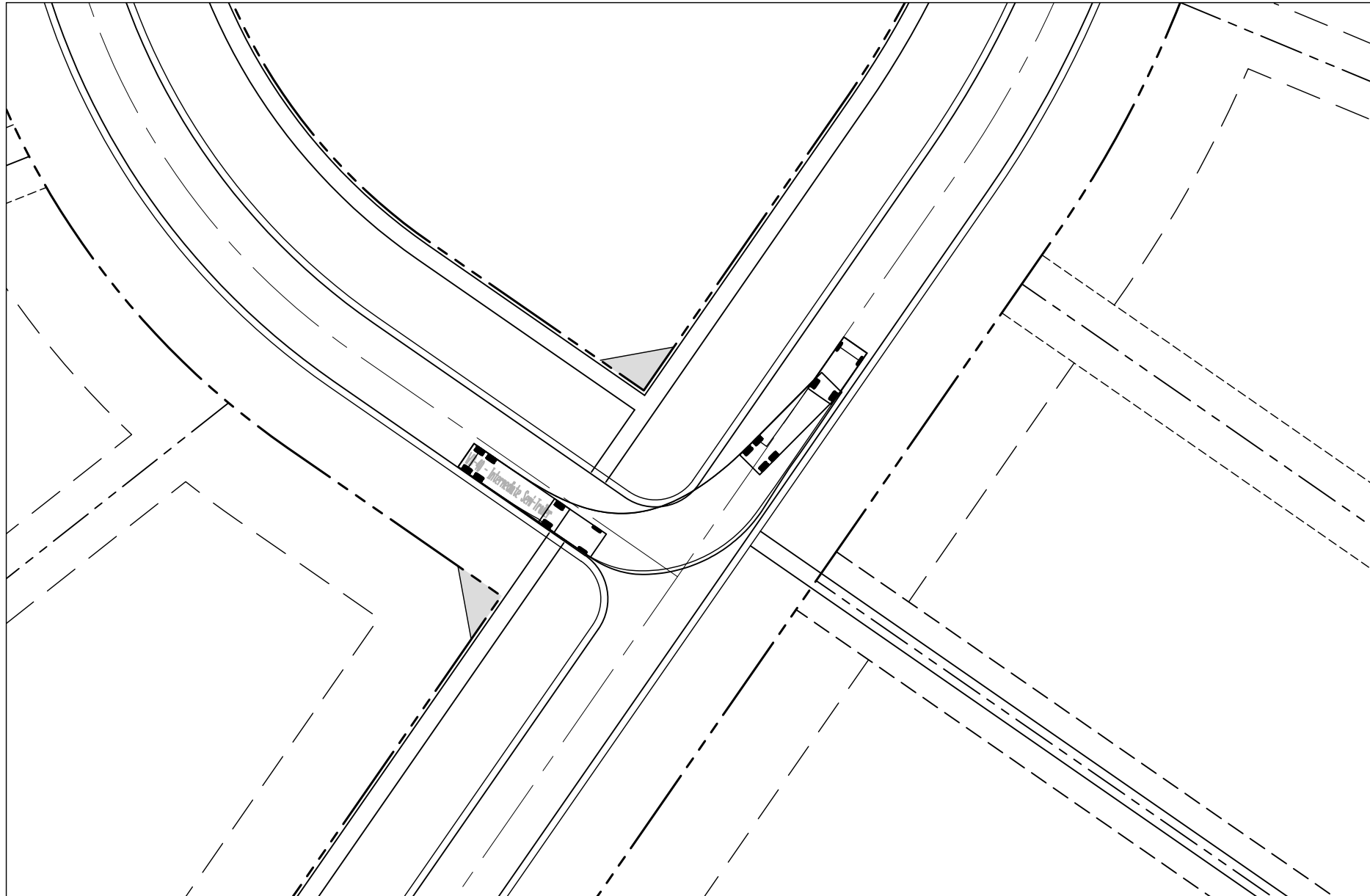
WB-40 MOVEMENT



WB-40 MOVEMENT



WB-40 MOVEMENT



WB-40 MOVEMENT



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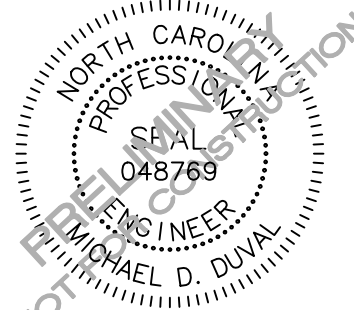
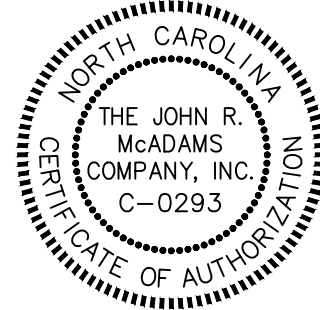
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**STEPHENS ROAD SUBDIVISION
SKETCH PLAN**

HUNTERSVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

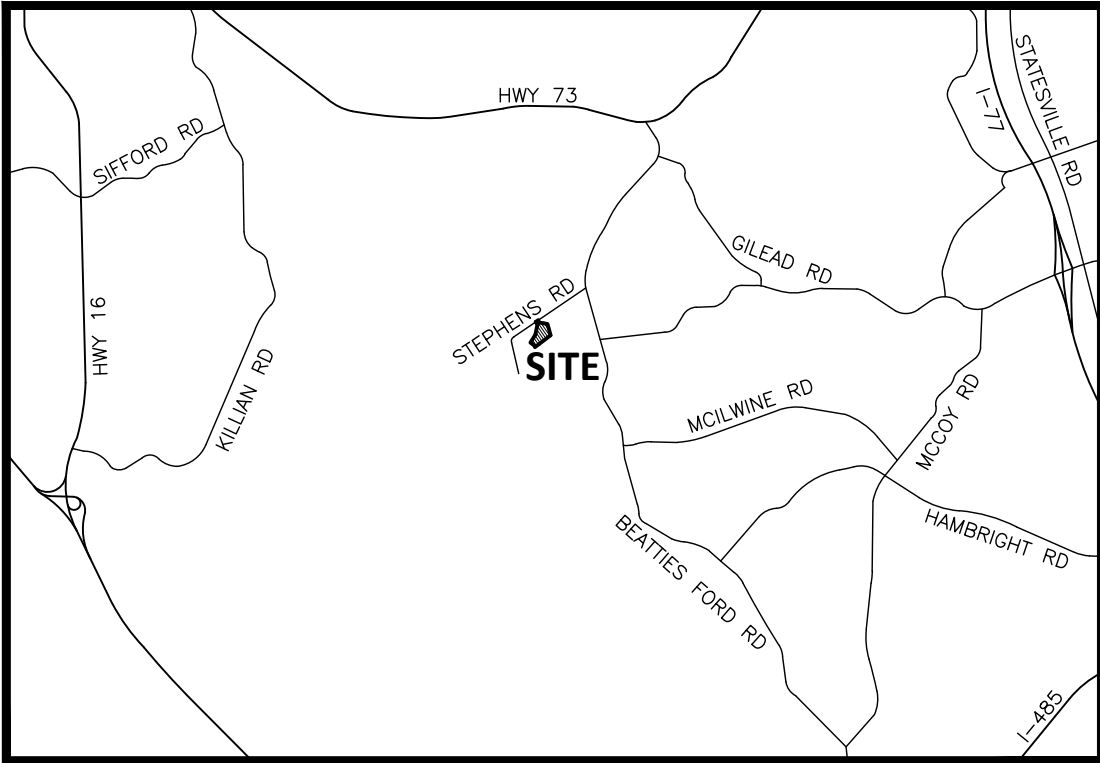
PLAN INFORMATION

PROJECT NO. CSH-21001
FILENAME CSH21001-SK3
CHECKED BY MD
DRAWN BY LJ
SCALE
DATE 05.05.2022

SHEET

VEHICULAR MOVEMENT

C0.07



PLANT SCHEDULE STREET TREES

CANOPY TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL	HEIGHT	CONT
	ASL	26	Legacy Sugar Maple <i>Acer saccharum</i> 'Legacy'	2" Min.	8' Min.	B&B
	LSR	28	Round-Lobed Sweet Gum <i>Liquidambar styraciflua</i> 'Rotundiloba'	2" Min.	8' Min.	B&B
	LTT	26	Tulip Tree <i>Liriodendron tulipifera</i>	2" Min.	8' Min.	B&B
	QPW	19	Willow Oak <i>Quercus phellos</i>	2" Min.	8' Min.	B&B
	UPA	25	Allee Lacebark Elm <i>Ulmus parvifolia</i> 'Allee'	2" Min.	8' Min.	B&B

PLANT SCHEDULE INTERNAL TREES

CANOPY TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL	HEIGHT	CONT
	ARO	21	October Glory Maple <i>Acer rubrum</i> 'October Glory' TM	2" Min.	8' Min.	B&B
	COH	12	Shagbark Hickory <i>Carya ovata</i>	2" Min.	8' Min.	B&B
	CLS	20	Sugar Hackberry <i>Celtis laevigata</i>	2" Min.	8' Min.	B&B
	DVP	12	Common Persimmon <i>Diospyros virginiana</i>	2" Min.	8' Min.	B&B
	FGA	11	American Beech <i>Fagus grandifolia</i>	2" Min.	8' Min.	B&B
	NSS	19	Sour Gum <i>Nyssa sylvatica</i>	2" Min.	8' Min.	B&B
	QAW	21	White Oak <i>Quercus alba</i>	2" Min.	8' Min.	B&B
	QCS	34	Scarlet Oak <i>Quercus coccinea</i>	2" Min.	8' Min.	B&B

TREE PLANTING SUMMARY

TREE SAVE AREA CALCULATIONS:

PROPOSED SITE AREA = 43.245 AC
EXISTING TREE SAVE AREA = 13.97 AC (32% OF SITE AREA)

STREET TREE PLANTING REQUIREMENTS:

STREET TREES WILL BE PLANTED AS FOLLOWS:
1 LARGE MATURING TREE EVERY 40 LF OF ROAD FRONTAGE
OR
1 SMALL MATURING TREE EVERY 30 LF OF ROAD FRONTAGE
IN INSTANCES WITH OVERHEAD UTILITIES

STREET A FRONTAGE = 3,312 LF
TREES REQUIRED = 3,312/40 = 83 LARGE MATURING TREES
TREES PROVIDED = 83 LARGE MATURING TREES

STREET B FRONTAGE = 183 LF
TREES REQUIRED = 183/40 = 5 LARGE MATURING TREES
TREES PROVIDED = 5 LARGE MATURING TREES

STREET C FRONTAGE = 1,186 LF
TREES REQUIRED = 1,186/40 = 30 LARGE MATURING TREES
TREES PROVIDED = 30 LARGE MATURING TREES

STEPHENS ROAD FRONTAGE = 238 LF
TREES REQUIRED = 238/40 = 6 LARGE MATURING TREES
TREES PROVIDED = 6 LARGE MATURING TREES

BUFFER PLANTING REQUIREMENTS:

TREE REQUIREMENT:
3 TREES PER 1,000 SF OF BUFFER AREA
25% LARGE MATURING TREES
25% SMALL MATURING TREES
25% EVERGREEN TREES

SHRUB REQUIREMENT:
10 SHRUBS PER 1,000 SF OF BUFFER AREA
100% EVERGREEN SHRUBS

BUFFER WIDTH: 20 LF
BUFFER AREA: 62,315 SF

TREES REQUIRED (3 PER 1,000 SF) = 187 TREES (62,315/1000 X3)
LARGE MATURING TREES PROVIDED = 140 TREES (75%)
SMALL MATURING TREES PROVIDED = 47 TREES (25%)
EVERGREEN TREES PROVIDED = 187 TREES (100%)

SHRUBS REQUIRED (10 PER 1,000') = 623 SHRUBS (62,315/1000 X 10)
SHRUBS PROVIDED = 623 SHRUBS (100% EVERGREEN)

INTERNAL TREE REQUIREMENTS:

2 FRONT YARD AND 2 REAR YARD CANOPY TREES ARE PROPOSED ON LOTS WITH AN AREA BETWEEN 15,001-20,000 SF.

3 FRONT YARD AND 3 REAR YARD CANOPY TREES ARE PROPOSED ON LOTS WITH AN AREA EXCEEDING 20,000 SF.

PLANT SCHEDULE BUFFER PLANTING

EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	CONT
	CDD	15	Deodar Cedar	<i>Cedrus deodara</i>	-	8' Min.	B&B
	CJU	24	Japanese Cedar	<i>Cryptomeria japonica</i>	-	8' Min.	B&B
	IOH	12	Hume Holly	<i>Ilex opaca</i> 'Hume#2'	-	8' Min.	B&B
	JVE	25	Eastern Red Cedar	<i>Juniperus virginiana</i>	-	8' Min.	B&B
	MGD	12	Southern Magnolia	<i>Magnolia grandiflora</i> 'D.D. Blanchard' TM	-	8' Min.	B&B
	PTL	34	Loblolly Pine	<i>Pinus taeda</i>	-	8' Min.	B&B
	QLL	12	Laurel Oak	<i>Quercus laurifolia</i>	2" Min.	8' Min.	B&B
	QVS	6	Southern Live Oak	<i>Quercus virginiana</i>	2" Min.	8' Min.	B&B

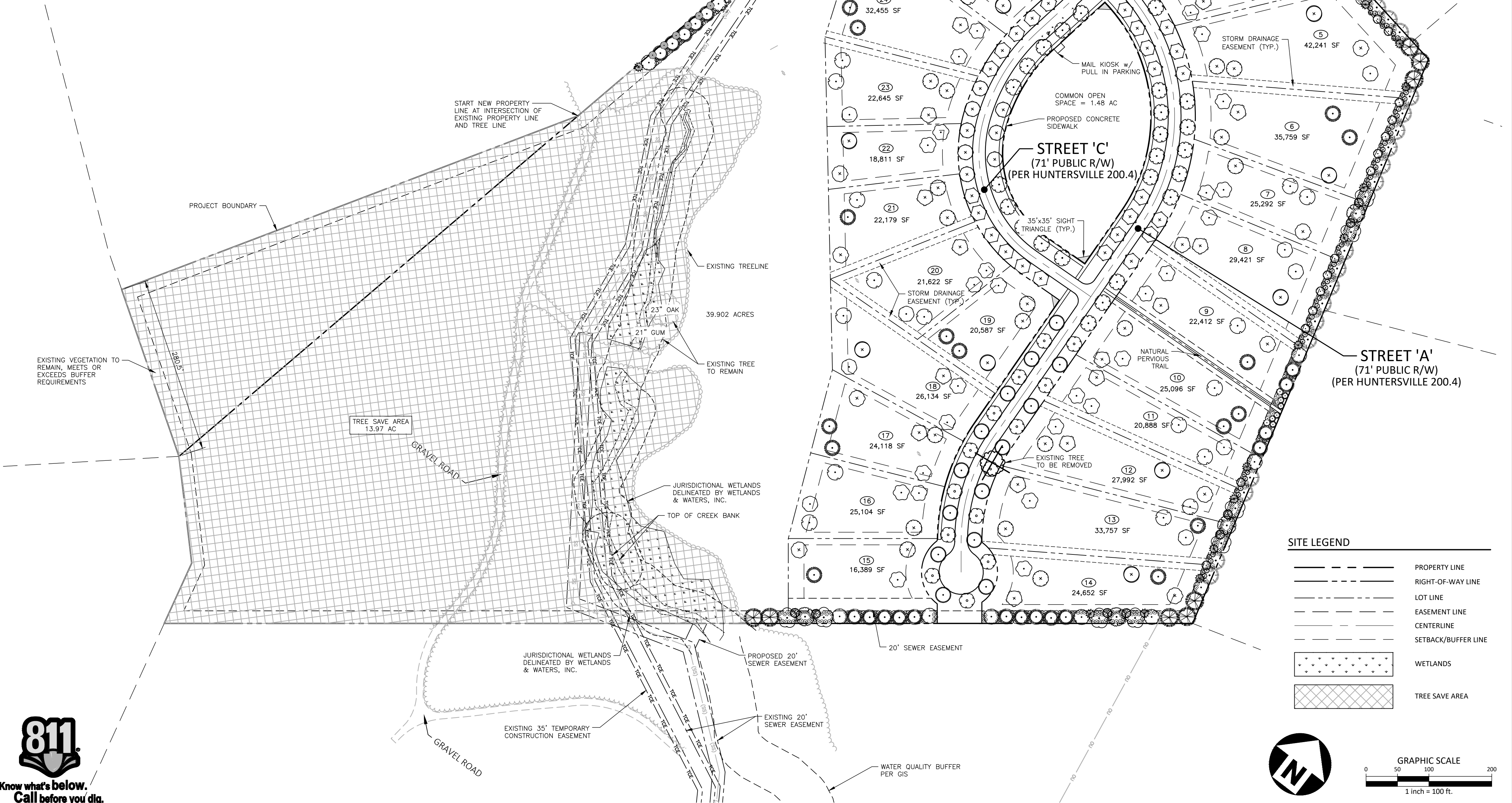
EVERGREEN UNDERSTORY TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	CONT
	IVY	21	Yaupon Holly	<i>Ilex vomitoria</i>	-	8' Min.	B&B
	INS	8	Nellie Stevens Holly	<i>Ilex</i> x 'Nellie R Stevens'	-	8' Min.	B&B
	IXS	6	Savannah Holly	<i>Ilex</i> x attenuata 'Savannah'	-	8' Min.	B&B
	MGL	12	Dwarf Southern Magnolia	<i>Magnolia grandiflora</i> 'Little Gem'	-	8' Min.	B&B

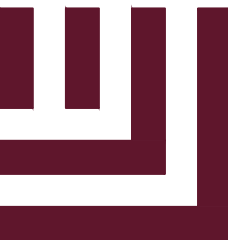
EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD
	AGEG	114	Glossy Abelia	<i>Abelia</i> x grandiflora 'Edward Goucher'	7 gal	36" min	24" min
	ICRH	101	Japanese Holly	<i>Ilex crenata</i> 'Rotundifolia'	7 gal	36" min	24" min
	PLAE	113	Narrow Leaf English Laurel	<i>Prunus laurocerasus</i> angustifolia	7 gal	36" min	24" min
	RUYP	91	Yedda Hawthorn	<i>Rhaphiolepis umbellata</i>	7 gal	36" min	24" min
	RHRH	102	Hybrid Rhododendron	<i>Rhododendron</i> hybrida	7 gal	36" min	24" min
	VRVL	102	Leatherleaf Viburnum	<i>Viburnum rhytidophyllum</i>	7 gal	36" min	24" min

PLANT SCHEDULE MEDIAN PLANTING

UNDERSTORY TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	CONT
	LNW	2	White Crape Myrtle Multi-Trunk	<i>Lagerstroemia</i> x 'Natchez'	2" Min.	8' Min.	B&B

EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD
	AGEG	3	Glossy Abelia	<i>Abelia</i> x grandiflora 'Edward Goucher'	7 gal	36" min	24" min





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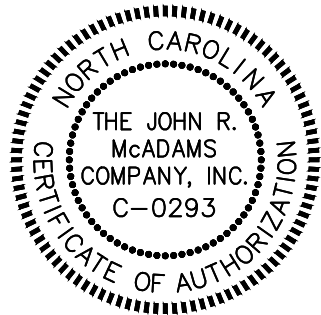
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STEPHENS ROAD SUBDIVISION
CONSTRUCTION DRAWINGS
HUNTERSVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

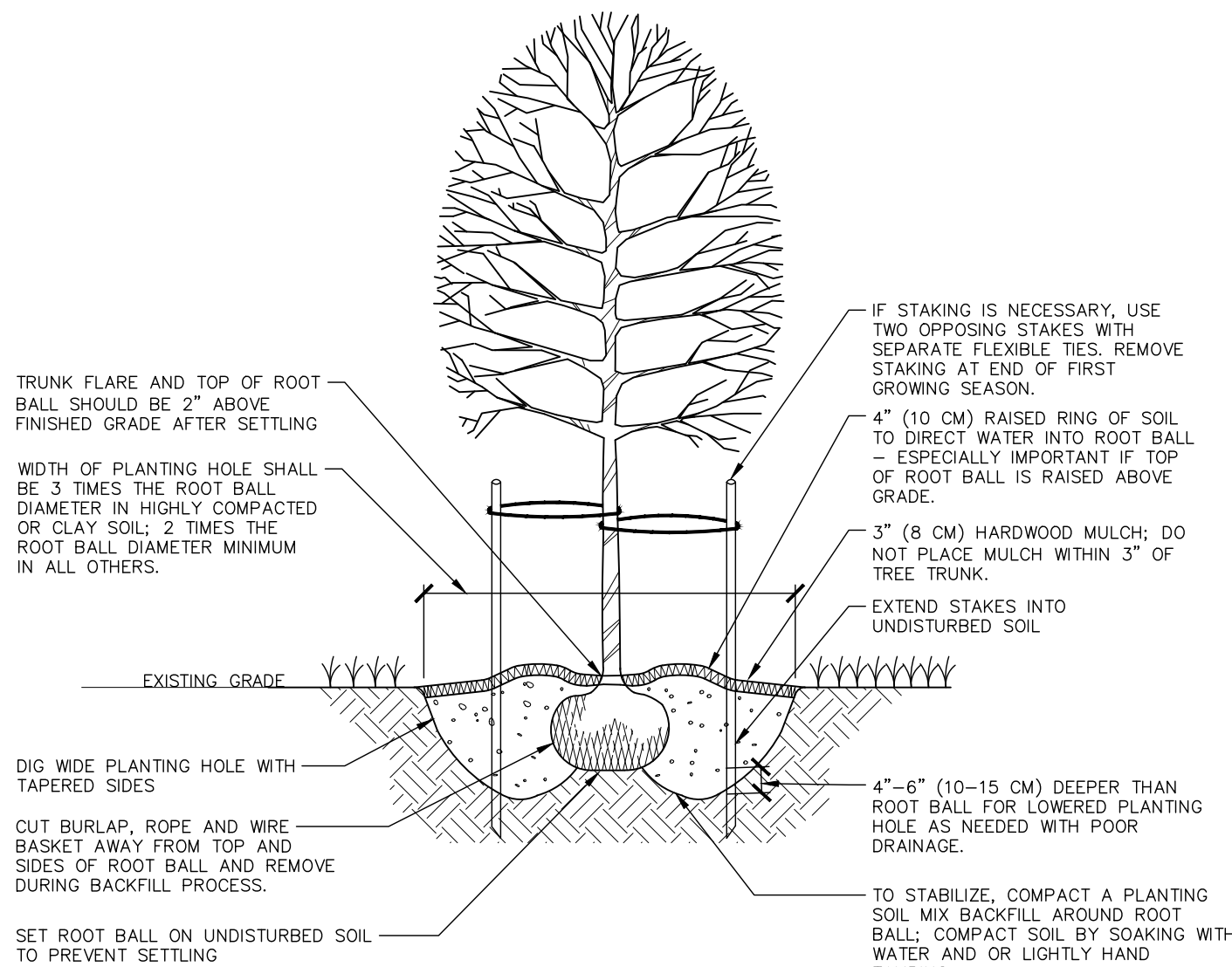
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FILENAME CSH21001-L51
CHECKED BY BAP
DRAWN BY ASB/KML
SCALE 1"= 100'
DATE 05.05.2022

SHEET

OVERALL CODE
LANDSCAPE PLAN
L5.00

GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF HUNTERSVILLE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD # NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND THE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE ARBOR TIES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

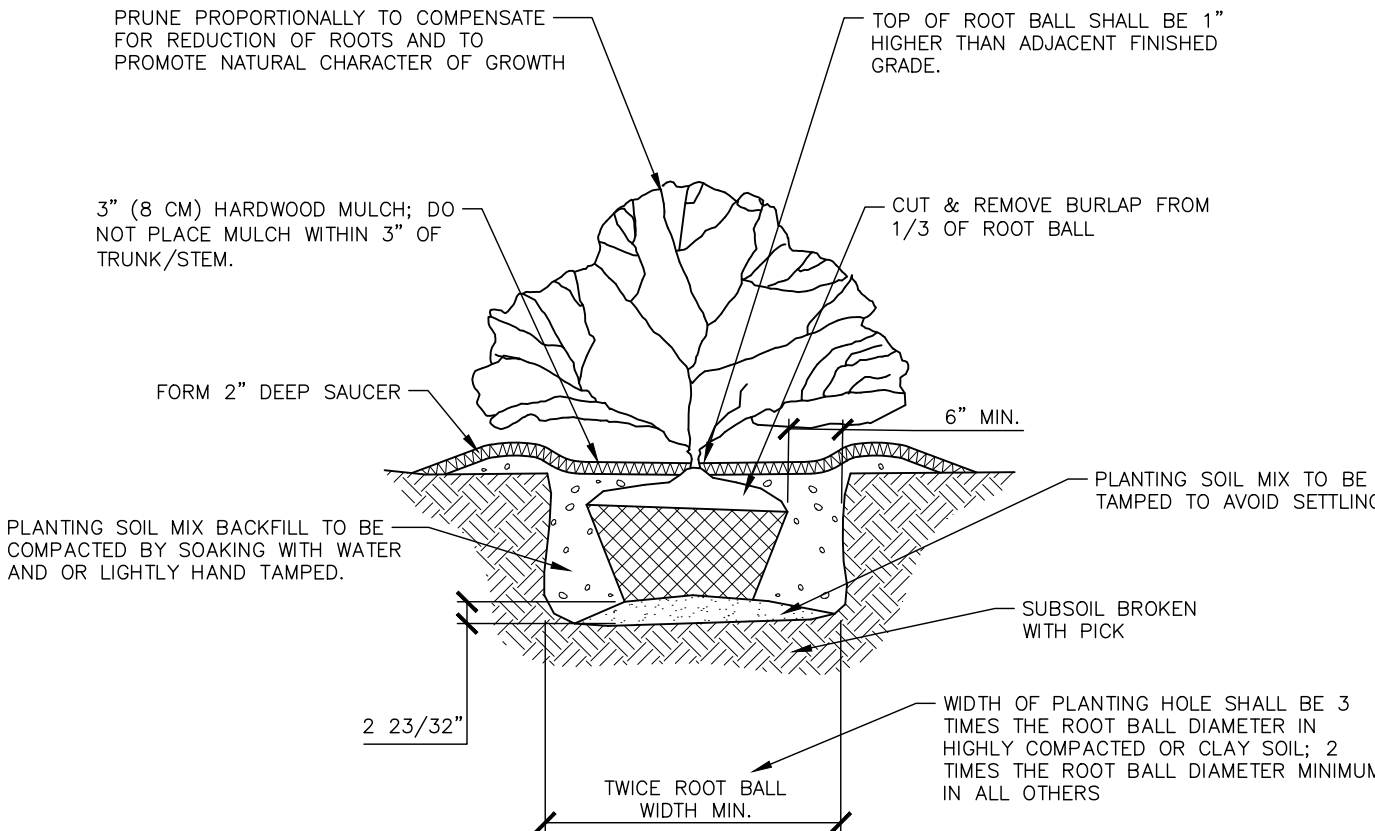


NOTES:

- SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; CROWN WITH FULL FOLIAGE; ARE GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
- BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, BE SURE TO SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
- A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
- IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

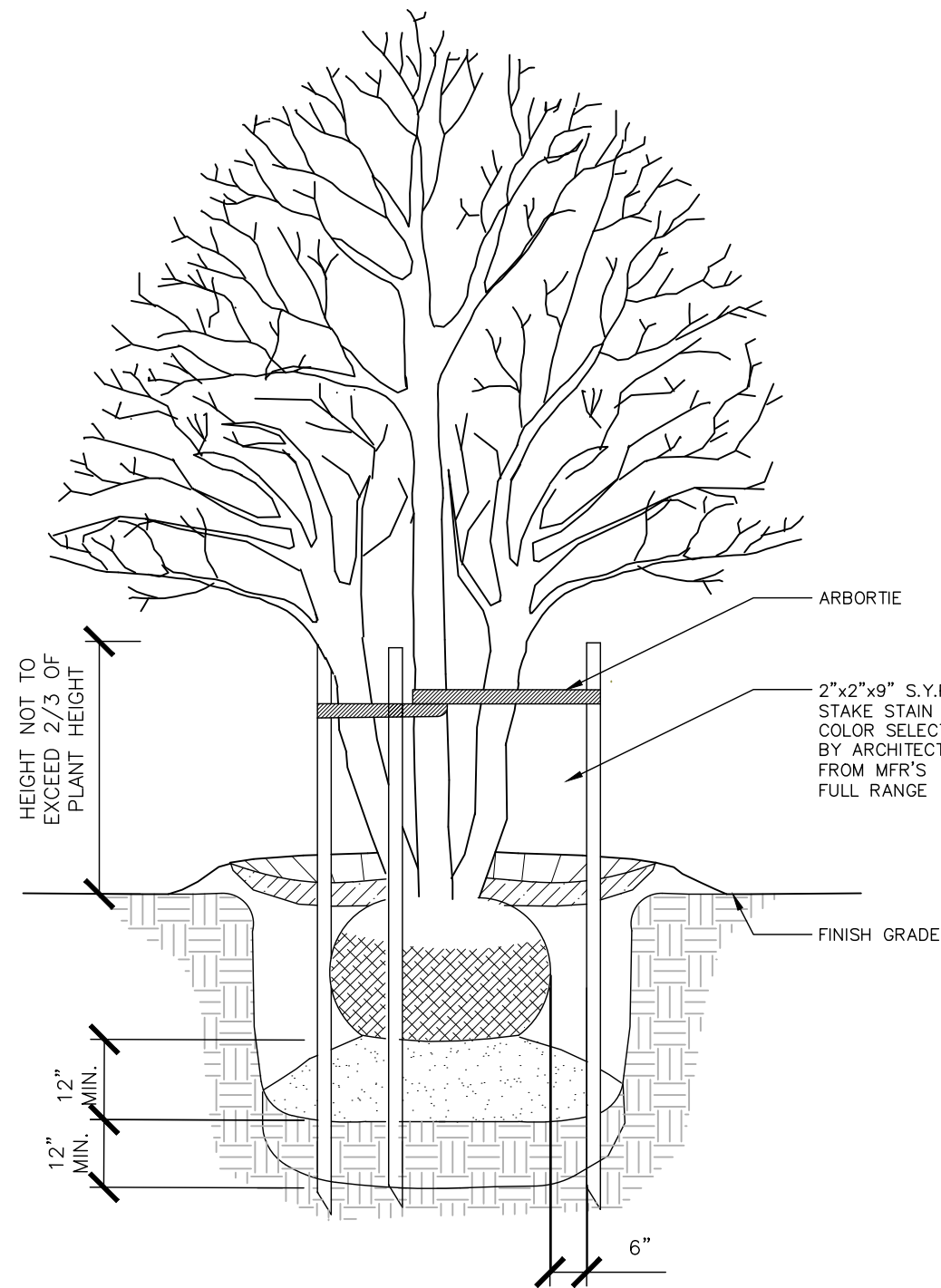
01 TREE INSTALLATION

SCALE: 3/8"=1'-0"



02 SHRUB INSTALLATION

SCALE: 3/8"=1'-0"

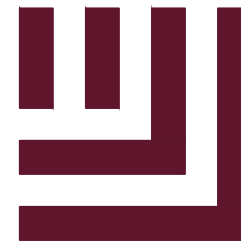


NOTES:

- STAKING BASIS OF DESIGN PRODUCT; ARBOR TIE OR APPROVED EQUAL.
- STAKING FOR TREES 2" CAL. DIA. TRUNK OR SMALLER.
- REMOVE TREE STAKING AFTER 1 GROWING SEASONS PER MANUFACTURER'S SPECIFICATIONS.

03 MULTI-TRUNK TREE INSTALLATION

SCALE: 3/8"=1'-0"



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

LARRY BURTON
CLASSICA HOMES, LLC
2215 AYRSLEY TOWN BLVD, SUITE G
CHARLOTTE, NORTH CAROLINA 28273

STEPHENS ROAD SUBDIVISION
CONSTRUCTION DRAWINGS
HUNTERSVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. CSH-21001
FILENAME CSH21001-L51
CHECKED BY BAP
DRAWN BY ASB/KML
SCALE AS SHOWN
DATE 05. 05. 2022

SHEET

LANDSCAPE DETAILS

L5.01



COMMUNITY MEETING REPORT

STEPHENS ROAD - SUBDIVISION

PETITIONER: Classica Homes

AGENT: Michael Duval, PE, MCADAMS

PARCEL #'s: 01309104 + 01309107

SITE: Stephens Road

DATE: April 11, 2022

This Community Meeting Report is being filed with the Town of Huntersville and available for review.

PERSONS AND ORGANIZATIONS CONTACTED WITH DATES AND EXPLANATIONS OF HOW CONTACTED:

The required Community Meeting was held on Monday, April 11, 2022. McAdams mailed a written notice of the date and time of the Community Meeting to the individuals and organizations set out on **EXHIBIT A** by depositing the Community Meeting Notice in the U.S. First Class Mail on April 1, 2022. A copy of the written notice is attached as **EXHIBIT B**.

TIME AND LOCATION OF MEETING:

The Community Meeting, required by the Ordinance, was held on site, on Monday, April 11, 2022, at 5:30 PM.

PERSONS IN ATTENDANCE AT MEETING:

A sign in sheet from the required Community Meeting is attached as **EXHIBIT C**.

Rick Jasinski with Classica Homes conducted the meeting. In addition, Larry Burton with Classica Homes, Michael Duval and Luke Johnson from McAdams, and Brian Richards from the Town of Huntersville attended the meeting.

SUMMARY OF ISSUES DISCUSSED AT MEETING:

I. Overview of Applicant's Presentation.

Introduction and Overview of Development Plan:

Rick Jasinski, with Classica Homes opened the meeting and introduced Larry Burton, Michael Duval, Luke Johnson, and Brian Richards with the Town of Huntersville.

Mr. Richards did a brief rundown on the type of process this site will adhere to in order to follow Huntersville regulations. He provided documentation of this process and his business card to any that wanted them.

Mr. Jasinski provided an overview of Classica Homes and where Classica Homes is developing within the neighboring markets. Then provided an overview of the site, proposed number of dwellings, density, buffers, open space, and site constraints. As well as the type of homes and how they would be situated on the lots.

II. Summary of Questions/Comments and Responses:

Attendees made the following statements and asked the following questions and the development team provided responses to those questions:

1. For this development we are not allowed to contact our elected officials? – *Mr. Richards confirmed that all questions and comments would need to go through staff.*
2. Will this development be required to widen/add traffic measures on Stephens Road? – *No, this subdivision does not kick in the Town or NCDOT requirements for a TIA or improvements.*
3. Will the cul-de-sac be extended to connect to Kidd Road to the south in the future? – *The Town and City of Charlotte are working together to determine if this is apart of their master plan. Currently the development is required to show an extension for future connections.*
4. How will the homes sit on the lots? – *The homes will be closer to the front of the lots. One reason is to limit the driveway lengths due to the strict BUA requirements.*
5. What is the build out time for the development? – *The development is projected to be completed by 2025.*

Mr. Jasinski thanked everyone in attendance and the meeting was adjourned.

CHANGES MADE TO PETITION AS A RESULT OF THE MEETING:

There were no changes made to the plan due to meeting input.

ANTHONY + SADIE KIDD
5900 STEPHENS RD
HUNTERSVILLE, NC 28078

SEAN + ASHLEY MCMILLIAN
5930 STEPHENS RD
HUNTERSVILLE, NC 28078

ANTHONY KIDD
5908 STEPHENS RD
HUNTERSVILLE, NC 28078

ABRAHAM + LINDSEY LEHMAN
14130 LEA POINT CT
HUNTERSVILLE, NC 28078

LLOYD + DARLENE RADESCHI
212 BROADLEAF DR
DENVER, NC 28037

JOHN + STACEY FREGOSI
11350 HERITAGE GREEN DR
CORNELIUS, NC 28031

DOUGLAS + LYNN TANNER
6100 STEPHENS RD
HUNTERSVILLE, NC 28078

MATTHEW + VICTORIA SCHAFER
6114 STEPHENS ROAD
HUNTERSVILLE, NC 28078

JOHN + JUDY KISER
6216 STEPHENS RD
HUNTERSVILLE, NC 28078

MECKLENBURG COUNTY
C/O REAL ESTATE / FINANCE DEPT.
600 E 4TH ST 11TH FLOOR
CHARLOTTE, NC 28202

CITY OF CHARLOTTE
600 EAST 4TH ST
CHARLOTTE, NC 28202

HARRIET MCKENZIE
5840 JIM KIDD RD
HUNTERSVILLE, NC 28078

DESIREE BRYAN
14209 BALD CYPRESS CT
HUNTERSVILLE, NC 28078

WILLIAM + CARRIE FERGUSON
14203 BALD CYPRESS CT
HUNTERSVILLE, NC 28078

BRIAN + CHERYL MARROW
14202 BALD CYPRESS CT
HUNTERSVILLE, NC 28078

JOHN WIGGINS
14208 BALD CYPRESS CT
HUNTERSVILLE, NC 28078

HILLSIDE LEGACY LLC
16806 SILVERSWORD DR
CHARLOTTE, NC 28213

JENNIFER GALLAGHER + JOHN
BARNHARDT
7505 BLACKGUM FALLS CT
HUNTERSVILLE, NC 28078

RICHARD + LAURS CHAMPURY
7504 BLACKGUM FALLS CT
HUNTERSVILLE, NC 28078

KEVIN + KAREN GORMAN
7510 BLACKGUM FALLS CT
HUNTERSVILLE, NC 28078

HPA BORROWER 2018-1 MS LLC
120 S RIVERSIDE PLAZA, STE 2000
CHICAGO, IL 60606

ROBERT THACH + SOCHEAT HEM-MAM
14200 CITRUS CT
HUNTERSVILLE, NC 28078

BOB BRETHEN
C/O STEPHENS GROVE HOA INC
14332 MCLAUREN LN
HUNTERSVILLE, NC 28078

HAWTHORNE MANAGEMENT
C/O CASS SHAPARD
PO BOX 11906
CHARLOTTE, NC 28220

DAVID PEETE
TOWN OF HUNTERSVILLE PLANNING
105 GILEAD RD
HUNTERSVILLE, NC 28078

DEBRA HARPER + SANTIAGO SALAZAR
4602 HORSESHOE CREEK DR
HUNTERSVILLE, NC 28078

MIGNON S PATTERSON
JOHN L II PATTERSON
7511 BLACKGUM FALLS CT
HUNTERSVILLE, NC 28078

SHEA HOMES STEPHENS GROVE
HOMEOWNERS ASSOC
7401 CARMEL EXECUTIVE PK DR
STE 106
CHARLOTTE, NC 28226

STEPHENS GROVE OWNERS ASSOC INC
C/O SHEA HOMES LLC
7401 CARMEL EXECUTIVE PK DR
STE 106
CHARLOTTE, NC 28226

NOTICE TO INTERESTED PARTIES OF
COMMUNITY MEETING

Subject:	Stephens Road
Date & Time of Meeting:	Time: 5:30 – 6:30 PM
Place of Meeting:	On-Site – Existing Barn 5900 Stephens Rd Huntersville, NC
Petitioner:	Classica Homes, LLC

Classica Homes, LLC (the "Petitioner"), is seeking to subdivide approximately 43 acres, located at 6010 Stephens Road, for 26 single-family lots. The proposed entrance to this subdivision is located opposite Birchwalk Drive of the Stephens Grove Neighborhood.

See the plan and location map attached for site information.

We hereby notify you, on behalf of the Petitioners, that the Petitioners and representatives of the Petitioners will hold a Community Meeting regarding this subdivision from 5:30 to 6:30 PM, at the existing barn at 5900 Stephens Road. Entrance to the barn is located at the last driveway, on the left, at the end of Stephens Road. The barn location is down the driveway on the left. The location map provides the proposed site and surrounding areas and community meeting location.

You may also call in advance, and ask your questions prior to the meeting if you are unable to attend the meeting in public. Contact information is below.

The Petitioner's representatives look forward to sharing this subdivision proposal with you and to answering any questions.

Any questions, please contact Eddie Moore – McAdams, 704-724-3594, emoore@mcadamsco.com.

Date Mailed: April 1, 2022

Attached: Conceptual Subdivision Plan
Location Map



CSH21001
04.06.2022







COMMUNITY MEETING – ATTENDANCE LIST

STEPHENS ROAD SUBDIVISION

Below is a list of individuals and/or organizations that and attended the Monday, April 11, 2022 Community Meeting.

NAME	Phone #	EMAIL
Doug & Lynn Tanner	704-300-5810	Douglastanner60@gmail.com
Sean & Ashley Mumillan	704-995-4514	
Linda Kidd	704-650-2827	
Richard Champury	704-453-8530	rchampury@yahoo.com
Greg Novroski		
Gus Pistolis	704-877-0256	guspistolis@gmail.com
Stacey Spithaler	704-516-7182	staceyspithaler@gmail.com
Bob Gasbarro	828-406-1842	BobGasbarro@gmail.com
Bob & M. Lanigan	617-201-3628	laniganbob@gmail.com
Gail Branner	704-992-1700	
David McCullar	704-284-3464	dmccullar@yahoo.com
Brian Marrow	704-875-6585	Brianbkm@roadrunner.com
Gary & Sandy Stansbury	704-607-0969	Garystansbury1@gmail.com
John & Stacey Fregos	704-426-9090	staceyfregosi@gmail.com
Ken Sussewell		ksussewell@yahoo.com
Crys Roeder		crys@dancingmoonpilates.com
Melochy Funr		Melochy.funr@exprealty.com
Suzanne Davis		scandavis@yahoo.com
Alexandra Cresa		Acresci45@gmail.com
Patty & Keith Crawford		Pbc1234@yahoo.com
Lynn Clark		Lynnclark672@gmail.com
Steve Keane		Steve.Keane@allentotal.com
Cory Neal		Cory5neal@gmail.com
Kathleen Venant		Kathleen.venant@gmail.com
Reder Kullmam		Pckjr73@gmail.com
Tona Bailey		baileytona@gmail.com

VII Stephens Roads Sign in Sheet

- Name Phone # Email

Doug Tanner 704-300-5810 dougtanner60@gmail.com

Lynn Tanner 704-948-6892 " " " " " "

Sean + Ashley Mullan 704-995-4514

Aida Kidd 704.650.2827

Richard Champury 704-453-8530
rchampury@yahoo.com

Greg Novoski

Gus Pistolis 704-877-0256 guspistolis2@gmail.com

Stacey Spithaler 704-516-7182 StaceySpithaler@gmail.com

Bob Gasbarro 828-406-1842
BOBGASBARRO@GMAIL.COM

Bob + Maureen
Lanigan laniganbob@gmail.com
617-201-3628

Gail Branner
704-992-1760

David McCullar 704-284-3464 dmccullar@yahoo.com

Brian Marrow 704-875-6585 BRIANBKM@Roadrunner.com

GARY - SANDY STANSBURY 704-607-0969

GARYSTANSBURY1@GMAIL.COM

John + Stacey Fregosi 704 426 9090
Staceyfregosi@gmail.com

<u>Name</u>	<u>Phone #</u>	<u>Email</u>
Ken Sussewell		KSussewell@yahoo.com
Crys Roeder		crys@dancingmoonpilates.com
Melody Fuhr		melody.fuhr@expressatty.com
SUZANNE DAVIS		scardavis@yahoo.com
Alexandra Cresci		acresci45@gmail.com
Patty + Keith Crawford		pbc1234@yahoo.com
Lynn Clark		lynnclark672@gmail.com
Steve Keane		Steve.Keane@Allentofc.com
Cory Neal		Cory5neal@gmail.com
Kathleen Venant		kathleen.venant@gmail.com
Peter Kullman		pckjr73@gmail.com
Tina Bailey		baileytmba@gmail.com



Planning Services

4421 Stuart Andrew Blvd.

Charlotte, NC 28217

Phone: 980-343-6246

Email: planning@cms.k12.nc.us

Town of Huntersville: Stephens Road Subdivision

IMPACT OF THE PROPOSED DEVELOPMENT

Proposed Housing Units: 26 single family detached homes under R zoning.

CMS Planning Area: North

Average Student Yield per Unit: 0.5118

This development may add 13 students to the schools in this area.

The following data is as of the 20th Day of the 2021-22 school year.

<i>Schools Affected</i>	<i>Total Classroom Teachers</i>	<i>Building Classrooms/ Teacher Stations</i>	<i>20th Day, Enrollment (non-EC)</i>	<i>Building Classroom/ Adjusted Capacity (Without Mobiles)</i>	<i>20th Day, Building Utilization (Without Mobiles)</i>	<i>Additional Students As a result of this development</i>	<i>Utilization As of result of this development (Without Mobiles)</i>
BARNETTE ELEMENTARY	41.50	39	704	662	106%	5	106%
BRADLEY MIDDLE	57	53	1075	1000	108%	3	108%
HOPEWELL HIGH	99.0	100	1809	1827	99%	5	99%

The total estimated capital cost of providing the additional school capacity for this new development is \$281,000; calculated as follows:

Elementary School: **5**x \$34,000 = \$170,000

Middle School: **3**x \$37,000 = \$111,000

RECOMMENDATION

Adequacy of existing school capacity is a significant problem. We are particularly concerned about a case where school utilization exceeds 100% since the proposed development may exacerbate the situation. Approval of this petition may increase overcrowding and/or reliance upon mobile classrooms at the schools listed above.